

# Building on a Proud Past

City of San Gabriel



Mission District Specific Plan ~ August 2004

# Adopting Ordinance

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## ORDINANCE NO. 546 C.S.

### **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SAN GABRIEL, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ADOPTING A SPECIFIC PLAN FOR THE MISSION DISTRICT AREA (CASE NO. PL-04-043), ZONE CHANGE, AND ZONE TEXT**

**WHEREAS**, Section 65450 *et seq.* of the California Government Code authorizes the preparation of specific plans governing the development of private property; and

**WHEREAS**, City Council policy encourages the preparation of specific plans in neighborhoods where the plan will allow the Council to tailor its development policies to the unique and special needs of that neighborhood; and

**WHEREAS**, the City Council proposes to amend the San Gabriel Municipal Code to promote economic development goals per the 1990 General Plan and 2004 General Plan; and

**WHEREAS**, the residents, business people, and institutions of San Gabriel's historic Mission District have expressed a need to revise Ordinance 430-C.S. and Ordinance 526-C.S., which govern the land use and development standards for the Mission District; and

**WHEREAS**, the City staff, working with local residents, community leaders, and decision makers, conducted a walking tour, community meetings and other programs; and have drafted a proposed specific plan to revitalize and preserve the District; and

**WHEREAS**, the Planning Commission held duly noticed public hearings on this matter on April 12, and May 10, 2004, recommending adoption of the Mission District Specific Plan; and

**WHEREAS**, the City Council held a duly noticed public hearing on June 15, 2004 to consider these amendments, accepting oral and written testimony;

**WHEREAS**, in adopting Resolution No. 04-17 on June 15, 2004, the City Council has certified the Final Environmental Impact Report for the project; adopted a Statement of Overriding Considerations; and imposed its mitigation measures on the subject specific plan, general plan amendments, zone change, text amendments, and related actions.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SAN GABRIEL DOES HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1. Zone Text Amendment.** San Gabriel Municipal Code Sections 153.300 through 153.308, inclusive, pertaining to the Mission District Zone, are HEREBY DELETED in their entirety.

**SECTION 2. Municipal Code Revisions.** Section 153.300 of the San Gabriel Municipal Code is HEREBY AMENDED to read as follows:

***MISSION DISTRICT SPECIFIC PLAN***

**151.300 MISSION DISTRICT SPECIFIC PLAN CREATED.**

Under the authority granted by Section 65450 et seq. of the California Government Code, a specific plan is hereby created for the San Gabriel Mission District, as defined and described in the Mission District Specific Plan, the contents of which are incorporated by reference as though fully set forth within this Code. The plan shall be designated on the zoning map as "Mission District Specific Plan." (Ordinance No. 546 C.S., [adoption date]).

**SECTION 3. Zone Change Findings.** The City Council HEREBY FINDS and DETERMINES that the Mission District Specific Plan and the proposed zone changes (as illustrated in Exhibit A, attached) satisfy the requirements of the California Government Code and Section 153.460 of the San Gabriel Municipal Code, in that:

(A) The proposed specific plan and its zoning designations will create a more economically, vibrant Mission District by expanding the range of land uses than those currently permitted in the core. The zone changes will increase development densities and increase building height limits in order to create a thriving village atmosphere. These are documented in the staff report dated June 15, 2004, and its accompanying environmental review and mitigation measures.

(B) The proposed zone changes demonstrate good city planning practices. The plan promotes residential uses in the Mission District core and enhances existing commercial districts through mixed-use development, live/work spaces, and other uses that are designed to serve the immediate trade area. Moreover, the use of the specific plan outlines preservation strategies and design standards to reinforce the historic character of the District in a manner not available through conventional entitlement zoning.

(C) The new zoning designation conforms to the general plan, including the housing element, as adopted by the City Council on May 18, 2004 and amended by Resolution No. 04-17. The remaining sites identified in the housing element are adequate to accommodate the City's share of the regional housing need pursuant to Section 65584.

**SECTION 4. Specific Plan Map and Text.** The City Council HEREBY FINDS and DETERMINES that the proposed specific plan text and map satisfy the requirements of California Government Code Section 65450 et. seq. with respect to the required content, composition, and requirements for adoption of a specific plan.

**SECTION 5. Approval of Specific Plan and Zone Changes.** The City Council HEREBY ADOPTS and APPROVES Planning Case No. PL-04-043 adopting the Mission District Specific Plan and Zone Change; and HEREBY AMENDS the official zoning map of the City of San Gabriel as illustrated in Exhibit “A”.

**SECTION 6. Severability.** If any section, subsection, subdivision, paragraph, sentence, clause, or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional, invalid, or unenforceable by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portion of this Ordinance or any part thereof. The City Council hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause, or phrase thereof, irrespective of the fact that any such provision has been declared unconstitutional, invalid or unenforceable.

**SECTION 7.** The City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same to be published according to state law. This ordinance shall take effect thirty (30) days after its passage.

**PASSED, APPROVED and ADOPTED this 17 day of August, 2004.**

/s/HARRY L. BALDWIN  
MAYOR OF THE CITY OF SAN GABRIEL

ATTEST:  
/s/CYNTHIA A. TRUJILLO, C.M.C  
CITY CLERK

Exhibit “A”: Amended Zoning Map  
Exhibit “B”: Mission District Specific Plan (Documents under Separate Cover; Full text on file in the office of the Community Development Department)

# Adopting Resolution

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## RESOLUTION No. 04-17

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN GABRIEL, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AMENDING THE LAND USE MAP OF THE COMPREHENSIVE GENERAL PLAN FOR SPECIFIED PARCELS IN CONNECTION WITH A PROPOSED MISSION DISTRICT SPECIFIC PLAN (CASE NO. PL-04-043); CERTIFYING THE FINAL ENVIRONMENTAL IMPACT REPORT FOR THE MISSION DISTRICT SPECIFIC PLAN; AND ADOPTING A STATEMENT OF OVERRIDING CONSIDERATIONS**

**WHEREAS**, Sections 65000 et seq. of the California Government Code and Section 153.465 of the San Gabriel Municipal Code authorize preparation of a comprehensive general plan governing the orderly growth and development of the City; and

**WHEREAS**, the residents, business people, and institutions of the Mission District area have expressed a need to revise Sections 153.300 to 153.308 of the San Gabriel Municipal Code, which have been the principal zoning standards for the Mission District; and

**WHEREAS**, the resulting studies indicate that minor amendments to the general plan land use map and zoning map are in order to consistently implement the general plan text; and

**WHEREAS**, working with local residents, community leaders, and decision makers, conducted a walking tour, community meetings and other programs; and have drafted a proposed specific plan to revitalize and preserve the District, including certain changes in general plan land use and zoning designations; and

**WHEREAS**, the Planning Commission held duly noticed public hearings on April 12, 2004 and May 10, 2004 to consider the proposed amendments and made a recommendation for the City Council to adopt the amendments (Planning Case No. PL-04-043) and certify the environmental impact report; and

**WHEREAS**, the City Council held a duly noticed public hearing on June 15, 2004 to consider these amendments, accepting oral and written testimony;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SAN GABRIEL DOES HEREBY RESOLVE AS FOLLOWS:**

**SECTION 1. Findings and Conclusions.** The City Council HEREBY FINDS and DETERMINES that the general plan amendments (illustrated in Exhibit “A” land use map, attached) satisfy the requirements of the 2004 San Gabriel general plan in that:

- a. The proposed amendments implement housing policies and revitalization recommendations of the 2004 Comprehensive General Plan. The plan includes modest density increases which are consistent with the plan’s goals to provide neighborhood housing and mixed uses that support Mission District services, and minor adjustments to other parcels to preserve neighborhood character. These principles are outlined in the staff report dated June 15, 2004, and incorporated herein by reference.
- b. The proposed amendments represent good city planning practices in that they promote a relationship between compatible land uses; improve the regulations which govern the Mission District to make development more economically viable and pedestrian friendly; and support the goals of the land use, cultural resources, community design, open space, and economic development elements of the 2004 General Plan.

**SECTION 2. Certification of Environmental Impact Report; Adoption of Statement of Overriding Considerations.** The City Council HEREBY FINDS and DETERMINES that:

- a. A Program Environmental Impact Report was prepared and four environmental alternatives were considered. The report determined that the Minimal Density Alternative is the Environmentally Superior Alternative, although it will not fulfill critical revitalization objectives for the Mission District.
- b. Of those alternatives studied, the Mission District Specific Plan is the preferred alternative and the only alternative that can successfully obtain the benefits in terms of circulation, infrastructure, amenities, pedestrian values, commercial revitalization, cultural resources and historic preservation needed to meet the needs of residents.
- c. The mitigation measures contained in the Environmental Impact Report (Exhibit “B”, attached), if implemented, will ensure that most environmental issues will be mitigated to a level of insignificance, except for certain traffic and noise impacts. The City Council HEREBY ADOPTS the Statement of Overriding Considerations, attached as Exhibit “D” and incorporated herein by reference, for which the Specific Plan’s benefits will outweigh these unavoidable adverse environmental effects.
- d. The City Council HEREBY CERTIFIES the Program Environmental Impact Report, finding that it provides a full, complete and accurate accounting of environmental issues associated with the proposed development and revitalization strategy for the Mission District.
- e. The City Council HEREBY DIRECTS that all mitigation measures contained in the initial study and environmental impact report documents are incorporated by reference, and shall be imposed as though fully set out in this resolution.
- f. The City Council HEREBY DIRECTS the Community Development Department to perform mitigation monitoring of the plan as provided by State law in accordance with the Mitigation Monitoring Program contained in the final environmental impact report, which shall be incorporated herein by reference.

**SECTION 3.** The City Council HEREBY APPROVES the proposed amendments to the City’s General Plan in connection with Ordinance 546 C.S. which adopts the Mission District Specific Plan and zone changes, and HEREBY AMENDS the general plan land use map as illustrated in Exhibit “A” attached. These include the following changes in land use map designations:

**PROPOSED GENERAL PLAN AMENDMENTS IN CONNECTION WITH MISSION DISTRICT SPECIFIC PLAN**

EXISTING GENERAL PLAN DESIGNATION	PROPOSED GENERAL PLAN DESIGNATION	DENSITY RANGE	PROPOSED ZONING CLASSIFICATION
Single Family Residence	Mission District Single Family Residence	6 units/acre (1 unit/7,260 s.f. of net lot area)	Mission District Villa Residential (MDR-1)
Low Density Multiple Family Residence	Mission District Low Density Multiple Family Residence	12 units/acre (1 unit/3,960 s.f. of net lot area); 20 units/acre if lot is min. 32,670 s.f. and lot width is minimum 150 feet	Mission District Grapevine Residential (MDR-2)
High Density Multiple Family Residence	Mission District High Density Multiple Family Residence	24 units/acre ((1 unit/1,742 s.f. of net lot area); 40 units/acre if lot is min. 32,670 s.f. and lot width is minimum 150 feet	Mission District Arroyo Residential (MDR-3)
Retail Commercial	Mission District Retail Commercial	0.50 FAR (1.00 for mixed use projects)	Mission District Market Place (MDC-1)
General Commercial	Mission District General Commercial	0.70 FAR (1.00 for mixed use projects)	Mission District The Mill (MDC-3)
Mission District Area A & B	Mission District Village Commercial	0.50 FAR (1.00 for mixed use projects)	Mission District Village (MDV)
Public Facilities /Open Space	Mission District Public Facilities /Open Space	0.50 FAR (1.00 for mixed use projects)	Mission District Garden (MDG)

**SECTION 4.** The City Clerk shall certify to the passage and adoption of the Resolution, and thereupon the same shall take effect and be in force.

**THE FOREGOING RESOLUTION IS APPROVED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SAN GABRIEL THIS 20 DAY OF JULY, 2004.**

/s/ HARRY L. BALDWIN, MAYOR  
CITY OF SAN GABRIEL

ATTEST:

/s/ CYNTHIA A. TRUJILLO, C.M.C  
CITY CLERK

Exhibit "A": General Plan Land Use Map Amendments

Exhibit "B": Mission District Specific Plan *[Documents Under Separate Cover; Full text on file in the office of the Community Development Department]*

Exhibit "C": Environmental Impact Report, and Mitigation Monitoring Program *[Documents Under Separate Cover; Full text on file in the office of the Community Development Department]*

Exhibit "D": Statement of Overriding Considerations

# Acknowledgements

## **SAN GABRIEL CITY COUNCIL**

Harry Baldwin, Mayor  
Juli Costanzo, Vice Mayor  
Mary Cammarano  
David Gutierrez  
Chi Mui  
Sabino Cici (former councilman)  
Dominic Polimeni (former councilman)

## **PLANNING COMMISSION**

Kevin Sawkins, Chair  
Pei-Chi Chang, Vice Chair  
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**Special Appreciation** to the State of California Department of Housing and Community Development who granted funding from the Downtown Rebound Planning Grant program for the Specific Plan effort.

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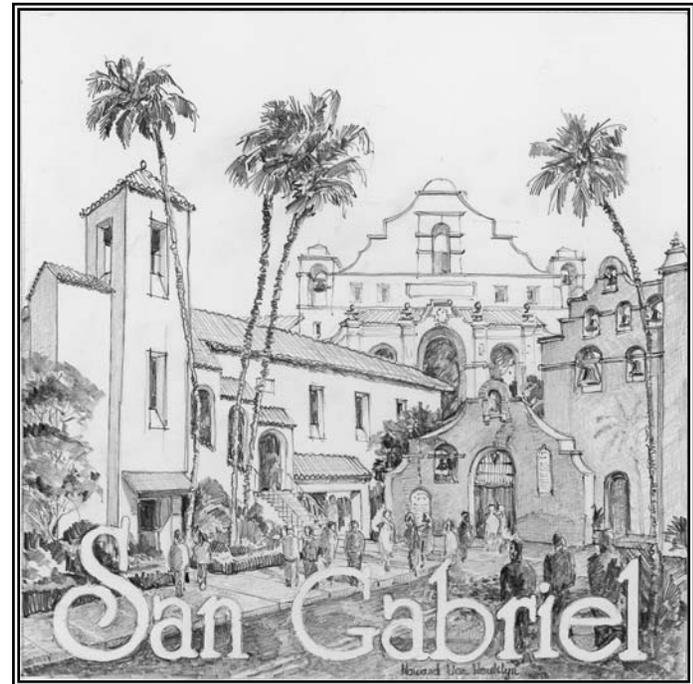
# Preface

*The Specific Plan ~ a tool to build economic vitality in the historic Mission District.*

The Mission District Specific Plan incorporates the collective knowledge of and vision for one of Southern California's most important historic areas ~ San Gabriel Mission District ~ the birthplace of the Los Angeles region. Community members and district stakeholders were invited to participate in the process of developing the Specific Plan. This plan reflects the community-based concepts and design for the District that resulted from meaningful public involvement. The Specific Plan addresses the economic vitality of the District, consolidates and builds upon previous planning efforts, the preservation of cultural landmarks and architectural treasures, and the District's future development.

The vision for the Mission District was influenced by previous building blocks set in motion with the 1990 General Plan, the 1994 Mission District Streetscape and Revitalization Program, the Mission District Partnership Goals, the 1998 Economic Development Strategic Plan, the 1999 Observations and Recommendations from Mr. Donovan Rypkema, the 2001 Mission District Charrette, and the 2001 General Plan Update Background Report.

The Specific Plan will serve as a tremendous revitalization tool that is holistic in nature. Unlike conventional zoning, the Specific Plan allows the citizens to tailor zoning standards to a given neighborhood, which is accomplished through a collaborative process involving stakeholders and public officials. The Specific Plan is created through study, discussion, and brainstorming processes that mold the goals and objectives for the District. As a guide to development, it sets priorities on which investors and public officials can base their decisions.



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## WHAT IS A SPECIFIC PLAN?

A specific plan is a tool for implementing the City's general plan with a variety of detailed recommendations for a targeted area. It establishes policies for the plan's implementation. The plan provides land use regulations and guidelines, as well as evaluates circulation and infrastructure. It also establishes administrative procedures for future development.

## USING THE MISSION DISTRICT SPECIFIC PLAN

The implementation measures are denoted in each chapter with two identifying features: the Camino Real Bell, and a number referencing the chapter and action item. This plan clearly reflects the community's vision. The values shared by the community have been translated into goals and objectives. Our goal has been to make this plan user friendly and easy to read.

Through words and graphics, the Plan depicts a vision, based on the values of the Mission District stakeholders, which will create economic success in the Mission District.

We hope you find the Mission District Specific Plan both enlightening and useful.

### Look for this symbol



It denotes the way towards economic success through action items.



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## Executive Summary

The San Gabriel Mission District represents one of the most historic locations in Southern California. This status provides a great opportunity to create a special people-gathering place for local residents along with drawing upon the greater community by further developing the tourism market.

The challenge arises in making the most of the limited resources available to the City and maximizing the uses in the Mission District in an effort to bring people to the area to dine, shop, work, and live. The Mission District Specific Plan looks at economic development, land use and zoning, historic preservation and cultural resources, urban design, and the circulation of people and cars in order to set the stage for revitalizing the Mission District. This revitalization can occur by working with the various stakeholders and by taking pro-active steps towards the long-term goals. These steps are incremental, share a common goal of building a village atmosphere, and embrace the market-based vision of the District.



The development of this plan was influenced by the strides taken in previous years beginning with the 1990 General Plan, the 1994 streetscape program, the Mission District Partnership Goals, the 1998 Economic Development Strategic Plan, the 1999 Observations and Recommendations from Mr. Donovan Rypkema, the 2001 Mission District Charrette, and the 2001 General Plan Update Background Report. We also conducted three community forums in the District in October and November of 2002 to ensure the plan reflected community-based concepts and designs. With a



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number of diverse stakeholders and community members, we rolled up our sleeves to tackle the issues of building economic vitality in the Mission District, of consolidating and building upon previous planning efforts, of preserving architectural treasures, of enhancing the charm and character of the area with urban design standards, and of facilitating movement to, from, and around the District.

**Location & Project Area Boundaries**

This first Chapter describes the specific plan area, its surroundings, and its place within the region.

**El Camino Real – The First Steps**

Just as the Camino Real identifies the first steps taken to the California Missions, Chapter 2 presents the history of the District, previous revitalization efforts, and sets the path to issues and actions described in the specific plan.

**Creating the Village**

Making the District’s economy work as a village would allow for a variety of uses in the Mission District. Chapter 3 of the Specific Plan explores ways of addressing, first and foremost, the needs of those living, working, dining, and shopping in the Mission District and, secondly, the needs of tourists. Our goal is to take advantage of the heritage, beauty, and serenity found exclusively in the District in order to create an economically sound village.

**Sacred Ground**

Land use (Chapter 4) in the Mission District will focus on introducing new uses, such as residential and live/work space, general offices, services, and general retail uses. Higher residential densities are needed in order to provide for economically feasible developments that will not overshadow our landmarks, such as the Civic Auditorium. The land uses are guided by a respect for the past, the needs of the present, and the vision for the future.

“There can be no doubt that the stranger in California finds himself more interested in the Old Missions than in any other feature of the Golden State. The ruins of these once vast establishments that were erected between San Diego and Sonoma along El Camino Real, The “king’s Highway,” for a distance of 700 miles, tell the history of California’s glamorous past and of a civilization that has departed forever...”

Old Missions  
By: John Steven McGroarty  
1911 / Mission Play Program



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### **Preserving the Bountiful Heritage, Culture, and History**

Historic preservation of our cultural resources is paramount to the long-term success of the District. Stewardship of our cultural treasures is presented in Chapter 5 along with the incentives offered for preservation efforts and the steps needed to accomplish them.

### **The Mission Tradition: Urban Design**

Urban design, including the placement of street trees, the design and placement of street furniture, and public art, sets the details that will contribute to the distinction and character of the District. Chapter 6 includes the augmentation of amenities that will present our best image to locals and visitors.

### **Architectural Design**

The details of implementing the specific plan through building renovation and new developments that complement and enhance our historic fabric are discussed in Chapter 7. These elements include regulations for rehabilitation, construction, architectural standards and sign standards.

### **Heart & Sole**

Just as our hearts circulate the blood in our bodies, we realize that the circulation of people and cars is the vital system, the infrastructure that keeps people shopping, dining, living, and working in the District. Chapter 8 looks at the multifaceted circulation issues that will help people get to the Mission District, find parking, and walk around comfortably.

### **Implementation**

This plan is to be acted upon, and used by the community and staff to revitalize the Mission District for years to come. Chapter 9 is a compilation of the action items identified in the Specific Plan identifies funding options as well as implementation tools and priorities.

### **Administration and Enforcement**

Along with the implementation, the administration and enforcement are important parts of keeping the Specific Plan a dynamic document that grows with the District. Chapter 10 describes important elements and procedures such as incentives, appeals, adoption, interpretations, amendments and more.



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# Goals and Objectives

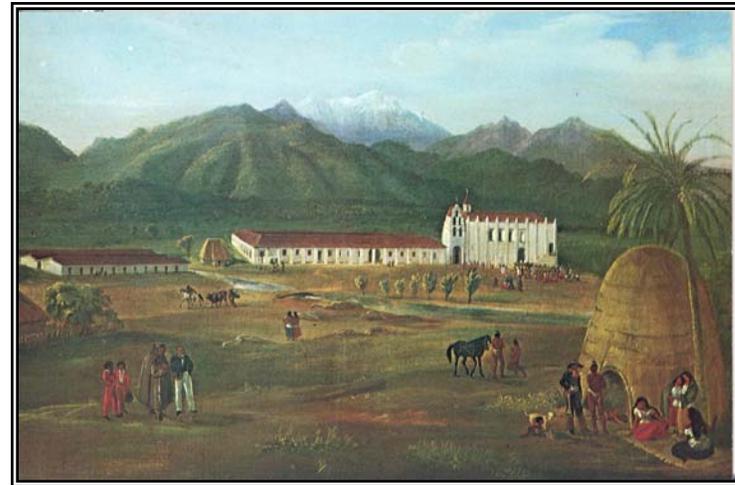
Father Junipero Serra had a goal - build the Missions in order to bring Christian communities to the Spanish territories. John Steven McGroarty had a goal - build the Mission Playhouse (*Civic Auditorium*) to house his ever-popular Mission Play. Our goal in the development of the Specific Plan - bring vitality to the Mission District that will be sustained in the years to come.

In order to develop this plan, we reached out to the people of San Gabriel, who have actively supported the betterment of the Mission District, have a history of caring for the District, and have long held a vision for the District. Over 50 community members enthusiastically participated in the Mission District Walking Charrette and Specific Plan Community meetings. Their local insight and contributions provided the foundation for the goals and objectives listed below. We are proud of the time and effort dedicated by the community for this Specific Plan.

The Specific Plan is intended to implement the economic development goals for the Mission District described in the City's 1990 General Plan and 2004 General Plan Update. The goals and objectives of the proposed Specific Plan are listed below.

## OVERALL GOALS

- Ensure community-based concepts and designs for the District through meaningful public involvement.
- Build economic vitality in the Mission District.
- Consolidate and build upon previous planning efforts.
- Preserve historic/architectural treasures.
- Guide the District's future.



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## **GENERAL GOALS**

- Positively influence the San Gabriel Mission District business climate to enhance economic vitality.
- Encourage and support mixed-use development.
- Foster cooperative partnerships with District stakeholders.
- Encourage historic preservation efforts.
- Enhance the pedestrian environment.
- Provide housing alternatives for people wanting to walk to work or to use public transportation.
- Incorporate the principles of “smart growth” into all planning decisions.

## **OBJECTIVES**

### **Economic Development Objectives**

- Provide for long-term economic vitality.
- Establish a plan based on a market driven economy.
- Provide a denser District with people living and working in the immediate area.
- Encourage the development of underutilized sites with the highest and best use.
- Ensure adequate parking for District uses.
- Encourage the adaptive reuse of existing buildings.
- Showcase the District.
- Pursue recurring events in the District.
- Promote the District.
- Encourage communication and partnership with the Mission District stakeholders.



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### **Land Use Objectives**

- Provide for higher intensity development in the Mission District.
- Establish land use regulations that support increased pedestrian activity and decreased dependence on motor vehicles.
- Develop regulatory standards that ensure the efficient use of under-utilized properties.
- Provide an engaging street front.
- Expand the allowable uses in the Mission District.
- Provide specific requirements to enhance public amenities of new development.
- Allow for balanced development that minimizes environmental and fiscal impacts to the City.

### **Historic Preservation Objectives**

- Identify historic buildings, monuments, and art objects in the District.
- Provide incentives for the preservation of historic structures.
- Prevent unwarranted demolition of historic structures.
- Establish preservation standards for renovations.

### **Urban Design**

- Establish a clearly defined sense of arrival through the incorporation of entry features, landscape, and hardscape.
- Create a functional and intuitive wayfinding system that reinforces streetscape, parking, and circulation improvements.
- Create a cohesive pedestrian circulation concept that enhances inter- and intra-parcel circulation.
- Reinforce the relationship between public and private improvements through incorporation of public artwork.



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### Architectural Design

- Assist property owners who wish to restore or rehabilitate existing buildings or construct new structures in the Mission District.
- Provide descriptions of significant architectural styles used in the Mission District that includes information concerning composition, design details and materials that are unique to each period.
- Establish architectural standards.
- Establish a listing of architectural features for buildings in the District.
- Establish sign standards for the area.
- Establish a review and approval process.

### Circulation

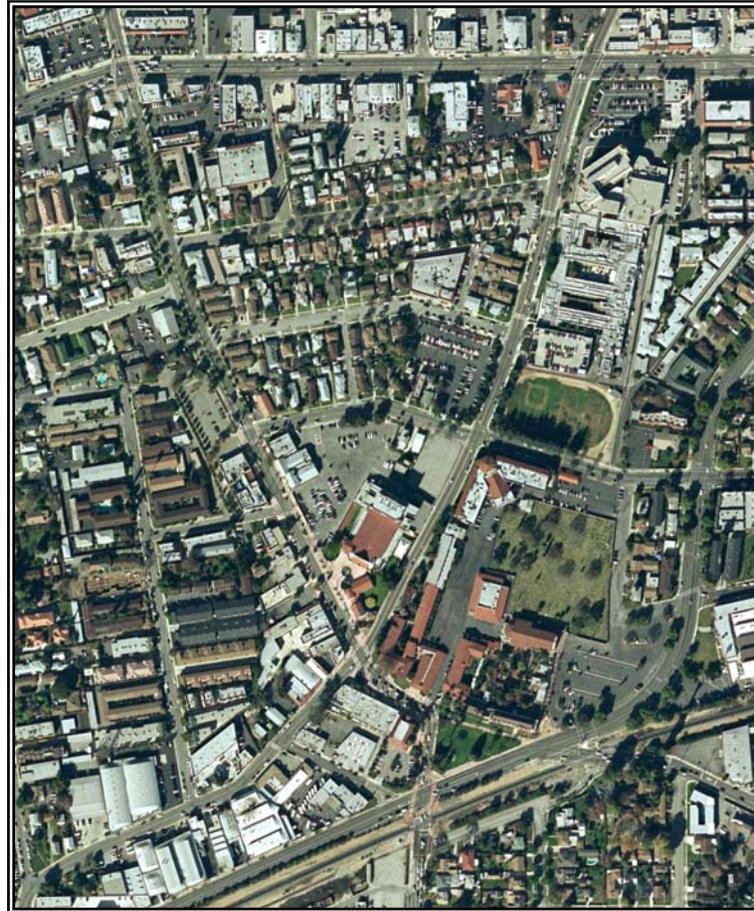
- Promote shared parking on lots with different parking demand patterns.
- Encourage joint venture parking.
- Maximize on-site parking.
- Develop secondary parking area re-striping.
- Provide additional on-street parking along Mission Drive.
- Establish a special event-parking plan.
- Provide the infrastructure for public utilities.



## Location & Project Area Boundaries

The boundaries of the San Gabriel Mission properties once were bordered by the Pacific Ocean, the Santa Monica Mountains, San Gabriel Mountains, San Bernardino and 30 miles to the southeast to present day Anaheim. The Mission District now consists of the historic San Gabriel Mission along with the surrounding properties that are directly influenced by the historic features of the immediate area.

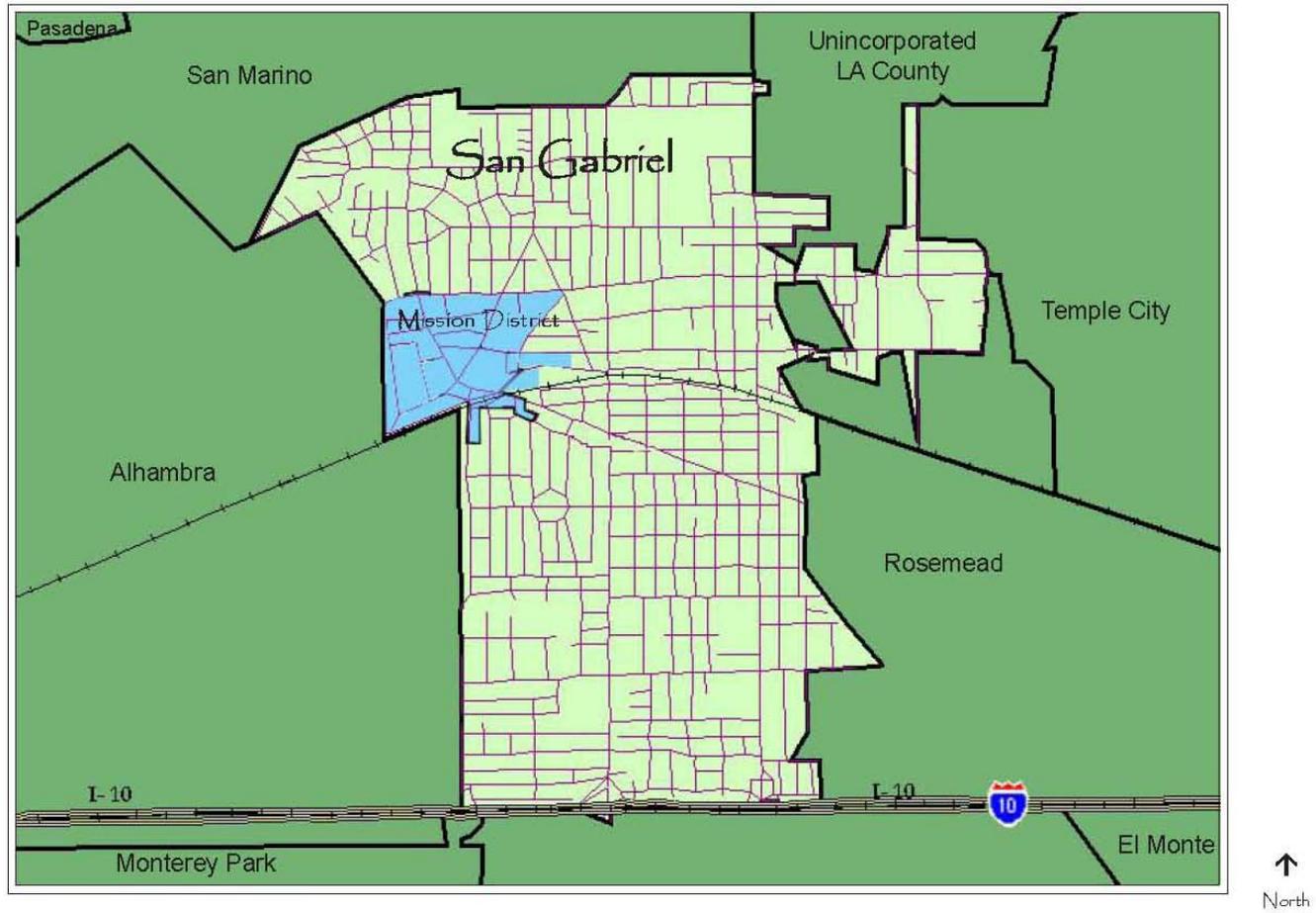
The Mission District Specific Plan project is located north of Interstate 10 (I-10) in the western portion of the San Gabriel Valley within the City of San Gabriel, County of Los Angeles, State of California (refer to **Exhibit 1.1, Regional Vicinity**). The Specific Plan area is located in the northwestern portion of the City of San Gabriel, as illustrated in **Exhibit 1.2, Site Vicinity**. The proposed Specific Plan is located approximately nine miles northeast from downtown Los Angeles. The proposed Specific Plan area is generally located south of Las Tunas Drive, north of Mission Road, west of Junipero Serra Drive and east of the Alhambra Wash drainage channel (refer to **Exhibit 1.3, San Gabriel Mission District Specific Plan Area**).



**EXHIBIT 1.1 ~ REGIONAL VICINITY**



**EXHIBIT 1.2 ~ SITE VICINITY**



**EXHIBIT 1.3 ~ SAN GABRIEL MISSION DISTRICT SPECIFIC PLAN AREA**



**EXISTING PLAN AREA CONDITIONS**

As illustrated on **Exhibit 1.3**, the proposed Mission District area encompasses approximately 101 acres of land. Two thoroughfares, Las Tunas Drive and Mission Road, serve the Plan area. These arterials serve the north and south access points, respectively, to the Plan area. The spine of the District core is Mission Drive between Las Tunas Drive and Mission Road. Both sides of the street constitute the Mission District zone, a zoning designation in place since 1994. The section of Mission Drive between Las Tunas and Broadway contains commercial uses (mostly general offices, medical/dental offices, and service businesses) with some small, older multi-family housing interspersed among the businesses. South of Broadway are the Mission San Gabriel Archangel, the San Gabriel Civic Auditorium, the City Hall, the Historical Association’s Museum and Hayes House, the Ramona Museum of California History, and many other historic and cultural sites. This area also is home to retail shops and restaurants, several vacant or underutilized buildings, and all of the public parking lots in the Mission District.

Plaza Park, Grapevine Park, and the Mission Gardens are key open spaces in the District Core. Smith Park is located in the Outer District. The Smith Park 2000 expansion pays tribute to the Gabrielino-Tongva culture and features native vegetation. The Core area is landscaped with a variety of palm trees, jacaranda trees, and a variety of drought tolerant plants, which are part of the attractive pedestrian environment of the District. MTA line 487 is an express bus line to and from downtown Los Angeles that makes two stops in the District Core.



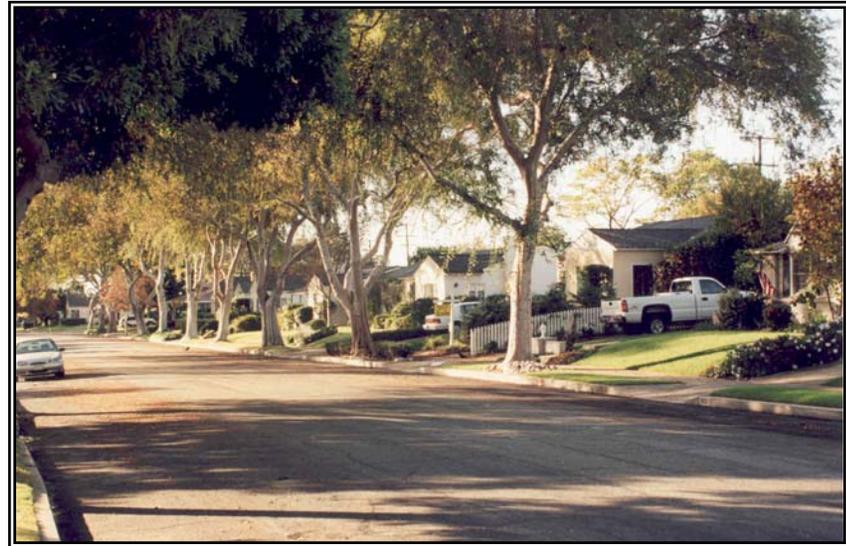
In addition to the transportation of people, the frequent transportation of goods is an integral part of the area. The Alameda Corridor East transports goods on the Union Pacific Railroad along the southern section of the District with two at-grade crossings at Ramona and at Junipero Sierra. The current figuration of the street level crossings contributes significantly to traffic congestion with each train that travels through the area. These have been upgraded to provide for safer crossings and in preparation for the tracks being placed below grade. A possible concept in connection with the lowering of the tracks is for the creation of a new pocket park in the Mission District above the railroad tracks.



### SURROUNDING LAND USES

The adjacent areas to the Plan Area are very diverse and include the following uses:

- North: The northern boundary of the Plan Area is a narrow commercial strip (Las Tunas commercial corridor). Land uses to the north of Las Tunas consist primarily of single-family homes (R-1 zone).
- Northeastern: High density (R-3) residential flanks the Plan Area's northeastern border.
- South: Land Uses to the south of the Plan Area include a mix of multi-family (R-2 and R-3 zones) and single-family homes.
- Southeast: Along the railroad tracks to the southeast are manufacturing zones.
- West: Land uses to the west of the Plan Area include multi-family R-3 zoning and commercial and limited light manufacturing zones.
- Southwest: San Gabriel High School in Alhambra is adjacent to the railroad tracks beyond the southwest boundary.



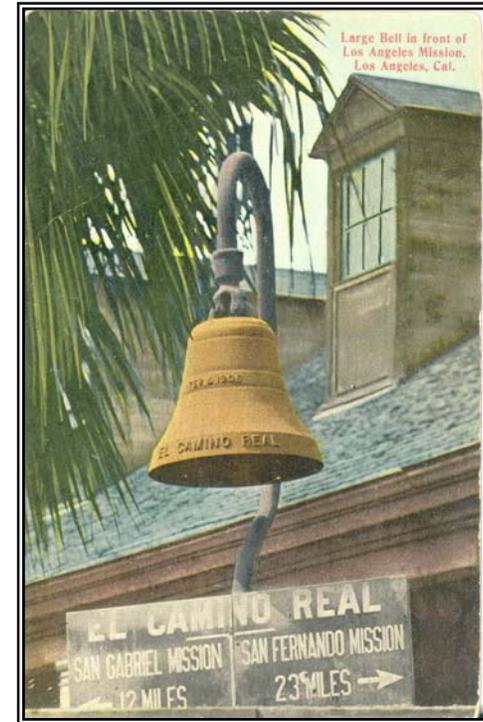
## El Camino Real ~ The First Steps

Just as the Gabrielino-Tongva tribes did before the European settlement of the area and just as the Franciscan padres did in the 1700s, we, as the San Gabriel Mission District, are taking steps for the further development of the area. Our steps towards the future are being taken with the knowledge we have gained through the rich history of the area, from previous planning efforts, and through the development of the Mission District Specific Plan.

The historic San Gabriel Mission District is one of the most important places in California's history. The District encompasses the Mission San Gabriel Archangel (the second oldest building south of Monterey), the legendary San Gabriel Civic Auditorium, the Civic Center, the Historic Museum and Hayes House, the Ramona Museum of California History, and many other historic and cultural sites. The District has been designated by the National Parks Service as an interpretive center for the De Anza National Historic Trail, which runs from the Mexican border to San Francisco. But in the 1990s the Mission District underwent rapid changes marked by the loss of tenants, physical constraints, and blight.

### **1994 REVITALIZATION PROGRAM**

On July 30, 1994, the City of San Gabriel celebrated the implementation of the Mission District revitalization program. This program was a multifaceted revitalization project, which developed community support to both fund and coordinate the implementation. Participating government agencies included the City of San Gabriel, the San Gabriel Unified School District, and the Los Angeles County Metropolitan Transportation Authority. Community organizations included the Gabrielino-Tongva Band of Mission Indians, the San Gabriel Historical Society, the San Gabriel Chamber of Commerce, the Parish of Mission San Gabriel Archangel, and



the San Gabriel Light Opera Guild. This revitalization included the completion of the following improvements:

- The construction of a 101-space Park-and-Ride lot.
- The implementation of a streetscape program consisting of new landscaping, streetlights, signage, and street furniture.
- The expansion of parks and public plazas.
- The installation of an historic walk with tile artwork involving over 600 fourth graders from local schools.

The early retail successes in the mid-1990s in this once blighted area consisted of an influx of new businesses, such as the Brave Bull, Mission Family Restaurant, and the Java Joint Coffee House. These businesses had a short life span, and the District once again had several vacancies in January 2001.

### **DEMOGRAPHIC CHANGE**

San Gabriel's demographics have shifted dramatically within the last 20 years. We have seen growth in the Asian population, decreases in the white-non-Hispanic population, and slight decreases in the Hispanic population. Many of the new Asian immigrants are not familiar with California history nor the cultural Mission landmarks. The dynamics of the population have not been integrated into the Mission District.

### **STRENGTHS OF THE MISSION DISTRICT**

- The history and architecture of the buildings including the historic Mission Civic Auditorium and City Hall.
- San Gabriel's historic significance to the region and California's development.
- Beautiful streetscape including tile artwork and markers identifying historical sites.
- Three parks and three museums.
- Available parking, including the City Hall and Civic Auditorium parking lots and the Park and Ride lot.
- The MTA express route to downtown Los Angeles that stops in the District.



- Daytime population from major employers. The San Gabriel Valley Medical Center and the San Gabriel Unified School District Offices are within walking distance to the District's core.
- A safe environment.
- A variety of neighborhoods within walking distance.
- Existing tourism market.
- Fourth grade students and their families visiting the Mission (Fourth graders in California study California history, including the history of Mission life.)
- City-owned properties within the District: City Hall and adjacent parking lot, Civic Auditorium and adjacent parking lot, Grapevine Park, Padillo Room, Parks and Recreation building, Park and Ride lot, and the Fine Arts Gallery.

### **DISTRICT ISSUES**

A major District weakness is a lack of synergy in the area between the major attractions: the Mission, City Hall, and the Civic Auditorium. These places exist in isolation due, in part, to the lack of contiguous activity at the pedestrian level caused by vacant storefronts, dilapidated buildings, blank walls, lack of merchandising in store windows, and unidentified parking lot locations. Other issues include the restrictive zoning code and design requirements.

### **DISTRICT POTENTIAL**

Mixed-use: The idea of combining commercial and residential uses under one roof is a very old concept given new currency in recent years by proponents of “new urbanism,” “livable cities,” and “sustainable development.” A convergence of forces is taking place in contemporary cities that is making mixed use less like an outdated anachronism and more like a viable tool in combating the forces of auto-dependency, sprawl, and high housing costs.

An area, like the Mission District, is ideally suited for mixed-use development because it is expressly created to be a place where people can easily walk and do not have to rely on the automobile for getting around the District.

Finally, part of what makes city neighborhoods dynamic is their diversity. In considering mixed-use, it is important to remember that mixed-use development can take many forms. While the City has standards for mixed-use projects in commercial zones, application of these standards to the Mission

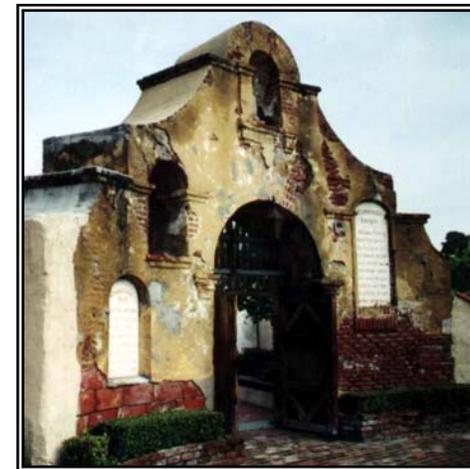


District in a “one size fits all” approach would be a mistake. Mixed-use development must respect the scale, character, and history of the District to be truly effective. The development standards should be tailored to the unique setting of the District. Other uses that can add vitality to the District include live/work space and lodging.

**DOES THE DISTRICT FUNCTION AS A DOWNTOWN?**

In June of 1999, the City of San Gabriel hosted a facilitated discussion with Mr. Donovan Rypkema, principal of the Real Estate Group to assess economic potential for the City including the Mission District. Mr. Rypkema stated that no current area in San Gabriel functioned as a downtown and questioned whether San Gabriel needs a downtown. He further proposed that the Mission District could fulfill that function. He itemized a list of roles for a downtown, noting that a district needs to have at least four of the twelve functions to be a downtown district:

- Retail Center
- Business Center
- Civic Center
- Entertainment Center
- Housing Center
- Medical Center
- Arts and Cultural Center
- Tourism Center
- Educational Center
- Sports Center
- Special Events Center
- Heritage Center



Mr. Rypkema observed that retail gaps in the Mission District would, most likely, be filled with entrepreneurs who are risk takers, funky, and independent. He offered the following suggestions for the Mission District:

- Increase the density through mixed use and mixed users within a building.
- Build a residential component to the District; residents generate four times the economic impact of workers.
- Develop effective private sector entities to partner with the City and other entities.
- Look at the commonalities within the District and deal with those as strategies.



**MAXIMIZING UNDERUTILIZED PROPERTIES**

The City is a key player in the Mission District. It can set the standard for other District property owners by maximizing the uses of City-owned property and by setting the standards for design. Currently, these sites contribute to the lack of synergy in the District. The present lack of street rhythm is a factor in the lack of vitality. Many key blocks have gaps between buildings that are used for parking and driveways. One way to create a pedestrian friendly street is to provide ground level activity. These panorama pictures show the underutilized properties, and the two largest gaps are City property: the Civic Auditorium parking lot, and the Park and Ride lot. Developers have shown interest in building mixed-use developments, introducing lofts and apartments into the area, and rebuilding displaced parking facilities. This Plan not only addresses the need to densify the city property but to improve the entire study area by enhancing each neighborhood's strengths and reducing its weaknesses.



Park and Ride Parking Lot



Mission Drive: West Side between Santa Anita and Carmelita



Mission Drive: East Side between Broadway and Santa Anita



## Creating the Village ~ a place to eat, sleep, shop, play, visit & work

Within the last 233 years, the Mission lands have changed from a Gabrielino-Tongva tribal area, to a Mission settlement, to agricultural lands, to a western frontier town with several saloons, to the celebration of early California romance, to today's Mission District.

In the early 1800's San Gabriel Mission was one of the wealthiest of the 21 California Missions. With an aqueduct, mill, cattle, and orchards of olives, oranges, and grapes, life in and around the Mission was active and fruitful. Although the land switched from the Missions to the Mexican government, and then to Mexican and American ranchers and farmers in the mid-1800's, the area was still primarily agricultural in nature. In the 1880's San Gabriel was a western town with eighteen saloons in a two-block area. With the turn of the 19<sup>th</sup> century, the area celebrated the romance of the early Mission era with the Camino Real bell marker in 1906, the 10,000 square foot grapevine, and Grapevine Inn. This setting was the inspiration for southern California's famous first novel *Ramona*, by Helen Hunt Jackson's and John Steven McGroaty's *Mission Play*. There are two buildings that mark a significant period of economic vitality in San Gabriel:

- The San Gabriel Mission founded in 1771 and built in 1776, and
- The Mission Playhouse (San Gabriel Civic Auditorium) built in 1926 specifically for the Mission Play, which was performed 3,198 times from 1912 - 1932.



The Mission District is now a mix of businesses anchored by the Mission campus, the Civic Auditorium, and City Hall. The lack of synergy between the business community and these anchors and the lack of density within the District stymies the economic success of the District.

**ECONOMIC OBJECTIVES**

- Provide for long-term economic vitality.
- Establish a plan based on a market driven economy.
- Provide a denser District with people living and working in the immediate area.
- Encourage the development of under-utilized sites with the highest and best use.
- Ensure adequate parking for District uses.
- Encourage the adaptive reuse of existing buildings.
- Showcase the District.
- Pursue recurring events in the District.
- Promote the District.
- Encourage communication and partnership with the Mission District stakeholders.

**MARKET CONDITIONS**

The District serves an immediate market area that is characterized as being a mature, largely built-out suburban market place. Household incomes average \$60,000 annually compared with the Los Angeles County average of \$70,000. The ethnic make-up of the population has changed dramatically over a very short period of time, with Asians now representing approximately 50% of the San Gabriel population, consistent with the general market area. Latinos represent approximately 30% of the total City population. The impact of the ethnic concentrations in the market area divides the market into two or three sub-market populations, reducing the effective demand from that indicated by the population numbers.

The District competes with regional-serving retail concentrations in Arcadia (Westfield Mall), Pasadena (Old Pasadena, South Lake Avenue, East Pasadena), and Main Street Alhambra as well as with local-serving retail concentrations. Most notable of the latter is the concentration of Asian-serving retail and restaurant establishments along the Valley Boulevard corridor.



Previously, the District's role was seen as a visitor-serving, specialty retail District. This designation was derived from the fact that it contains the historic San Gabriel Mission and the Civic Auditorium, a regional entertainment venue. The actual experience of the District has been that the influence of both these institutions has not had sufficient strength to sustain a tourist-oriented district.

Tourism is not the only answer to the economic success of the Mission District. The Civic Auditorium and the Mission have not generated sufficient visitor traffic to be the basis of a viable business district. The prosperity of existing and future businesses begins at home. Interviews with current merchants and brokers seeking to lease space within the District confirm that the District's customer base is largely local. The San Gabriel Mission market area has seen a substantial increase in the Asian residential community in the last 5 years. This is evident in the new business with Asian ownership such as Mission 261, Orchid Boutique, and Mission Seasonal Gifts.

Current zoning restrictions designed to promote visitor-serving retail uses have been ineffective and have precluded occupancy by local-serving retail and service businesses. Based upon the experience in the District, broker interviews, and business surveys, the indicated role for the District is local serving, capitalizing on the pleasant scale of the District and the density of near-by residents and the medical business population.



**3.1 In order to capitalize on the existing market the District needs to take the following actions:**

- Be responsive to the local population and attract this major segment of the community into the area.
- Remove barriers to business. Land use regulations that restrict uses to visitor-serving businesses should be eliminated.
- Hone in on local needs. Land uses that are more local serving in nature should be permitted.



**DISTRICT GROWTH POTENTIAL**

Putting people in the mix by increasing the residential density is necessary to allow conversion of smaller residential properties and to provide additional local market support to the District’s commercial uses. In addition to higher densities constant visual activity is needed at the ground level to promote pedestrian activity. This suggests the need to develop surface area parking lots with infill development in order to create continual building interest and additional commercial density.

The San Gabriel Valley Medical Center is San Gabriel’s largest employer. The incorporation of the hospital uses along Santa Anita is important psychologically as a means of developing a relationship between the medical center patrons and employees and the merchants in the District. A master plan has been created for the properties in the Medical Facilities Zone, and is in the process of being implemented. A 63,000 square foot medical office building is scheduled to open in July of 2004 at the southwest corner of Santa Anita and Padilla. This building is 100% pre-leased and there is a demand for additional medical office space.



**3.2 District growth can occur with the following:**

- Including the mixed-use residential areas between Mission Drive and Santa Anita will give the District additional identity that can be shared with the area as increased density of residential is considered.
- Maximizing key properties. Uses at key properties should be carefully managed to maximize the benefit to the District.
- Creating joint venture parking opportunities with the San Gabriel Valley Medical Center can expand the links with the medical center, and provide alternative parking for the Civic Auditorium.
- Expanding the boundaries to encompass the land generally east of the arroyo, north of Mission Road, West of Junipero Serra, and South of Las Tunas Drive.



**RESIDENTIAL DENSITY ANALYSIS**

Development at in-fill locations within the District will most likely be multi-family residential, either ownership or rental. Currently, rental rates in San Gabriel do not support new construction, but this can change as the cost of home ownership continues to rise. Analysis of the cost of acquisition of existing low density residential in the District, suggests that density of 35 to 45 units to the acre will be required to allow the low density housing to be recycled into higher density condominium development. A one-acre development site would yield a land value of approximately \$50,000 per unit or approximately \$45 per square foot.



**3.3 Residential opportunities include these possibilities:**

- Living above the store. Mixed-use residential/commercial uses should be permitted with residential densities as high as 40 units per acre.
- Creating the urban village. Allowing for the high density residential to be developed at 40 units per acre with the consolidation of more than one parcel with 150 linear foot frontage and 3/4 of an acre minimum lot size.

**OPPORTUNITY SITES**

- The Civic Auditorium parking lot site represents the most significant site in the District.
- The successful operation of the Mission 261 Restaurant as a local/regional serving restaurant and banquet facility is significant in reinforcing the other restaurant and retail uses in the District.
- The Park and Ride lot is an opportunity to develop a small parking structure or other use to create additional density as depicted in **Exhibit 3.1**.
- Use of the Mission Seasonal Gift (former Startup- 323 South Mission Drive) site as a potential additional restaurant use or a significant local service or retail use with extended operating hours should be encouraged.



Additionally, this site offers an opportunity to develop a more pedestrian friendly development with a shop fronting Mission Drive and with rear parking as shown in **Exhibit 3.2**.

- Combining the properties to the north and south of 323 South Mission Drive under a single ownership can further enhance this site with a combination of new construction and adaptive re-use of historic structures.



- Assuming the parking impacts can be mitigated, the Civic Auditorium parking lot provides the opportunity to introduce a mixed-use development into the District with ground floor retail/offices and residential above. The resulting land value may provide the resources to replace parking lots lost from its development. **Exhibits 3.3** and **3.4** provide two alternatives for the development of the Civic Auditorium parking lot that create pedestrian paseos linking parking to the Civic Auditorium.

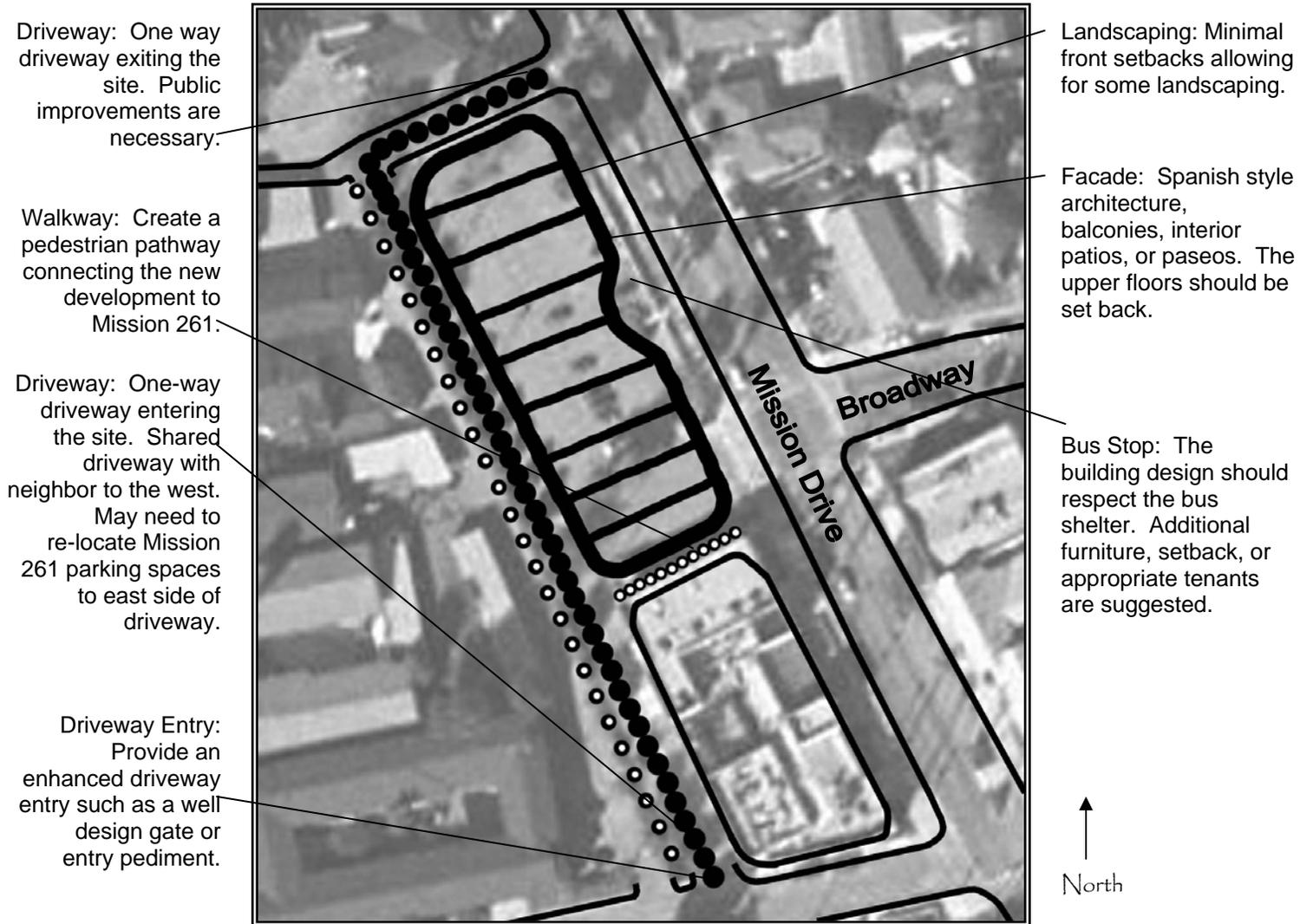


#### **3.4 Economic development opportunities include these points:**

- Taking advantage of today's demographic, real estate and economic market.
- Exploring development opportunities for the Civic Auditorium parking lot.
- Creating mixed-use in retail and residential projects may be financially viable in near-term.
- Promoting the highest and best use of key properties and corner sites.



**EXHIBIT 3.1 ~ PARK AND RIDE DEVELOPMENT SITE OPTION**



**EXHIBIT 3.2 ~ 323 SOUTH MISSION DEVELOPMENT SITE OPTION**

Covered Walkway: Create an archway or second story over the pedestrian alley to provide shade, interest, and additional square footage.

Driveway: Create reciprocal access agreement with building to the north.

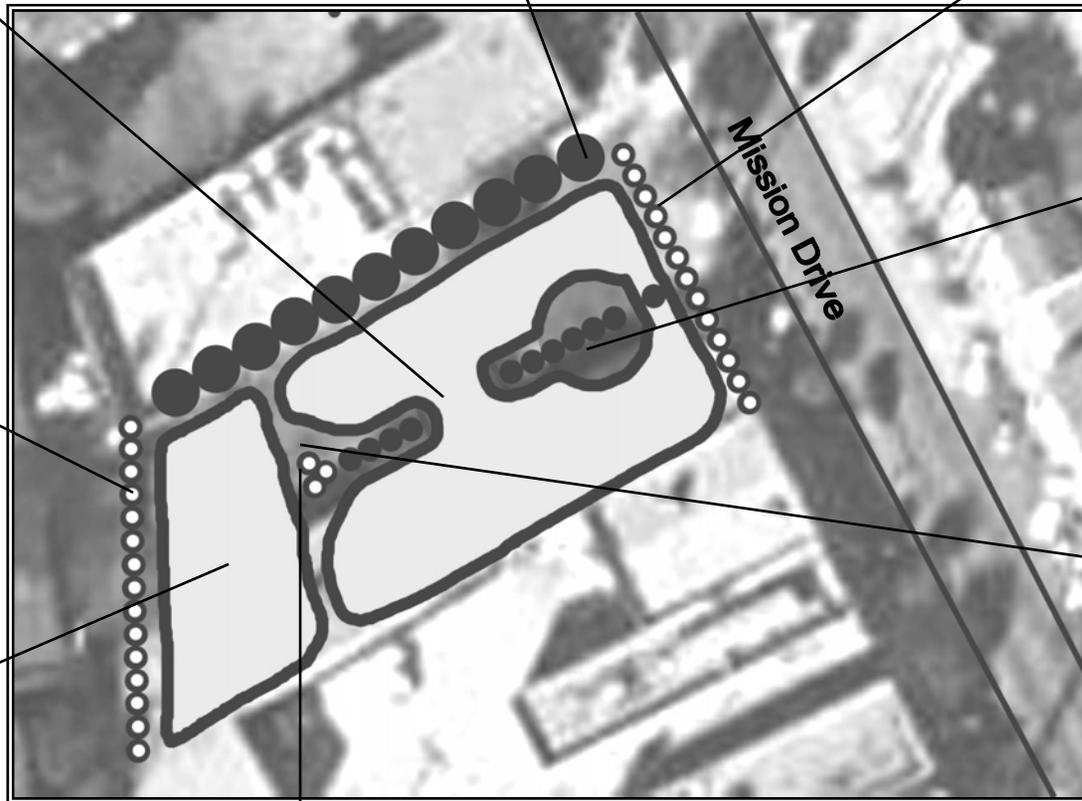
Buffering: light landscaping along the front to soften the appearance of the building and help transition between the building and the street.

Buffering: Provide ample buffering between the residences to the west. Properties to the west are higher in elevation.

Patio: for outdoor dining for restaurants or office workers or display for retail goods.

Parking based on one story building. If two stories, create shared parking agreement with neighboring properties.

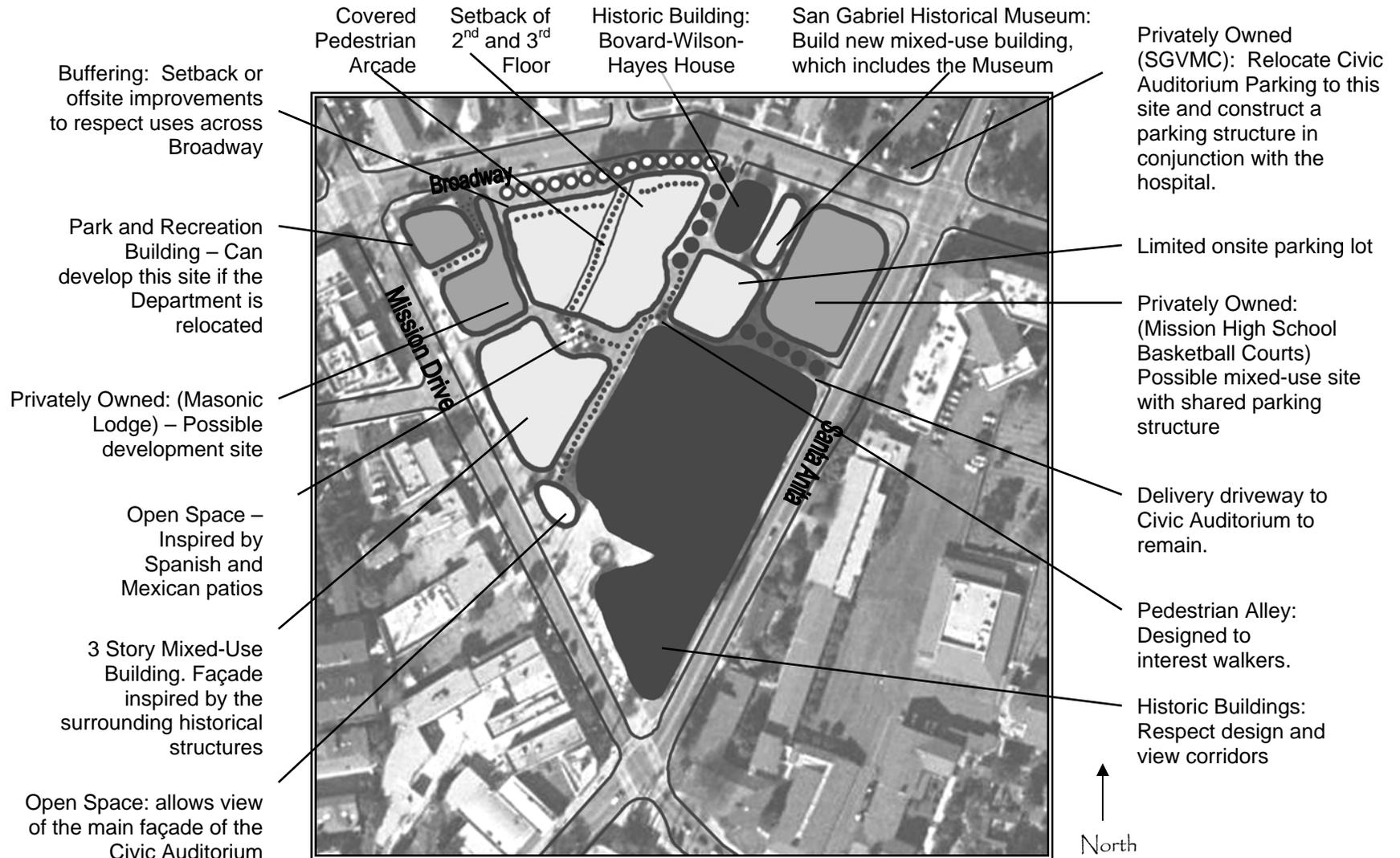
Arcade/Alley: Pedestrian walkway to provide interest, rhythm, surprise, view corridor, and access to tenant. An outdoor staircase and planters would be appropriate.



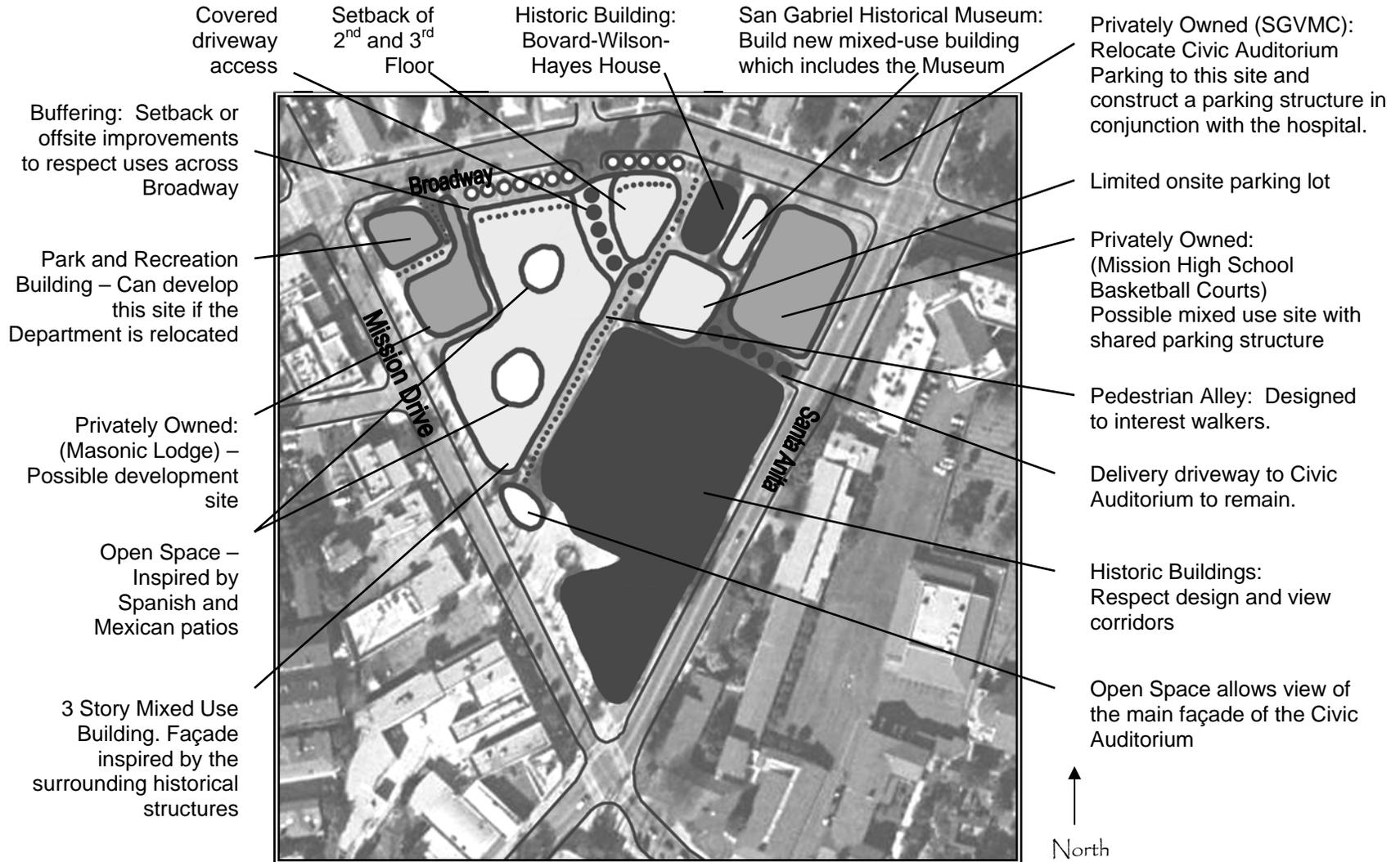
Buffering: Landscaping, historical exhibit case, fountain, or some other aid shall be used to block view to the parking lot.



**EXHIBIT 3.3 ~ CIVIC AUDITORIUM DEVELOPMENT SITE OPTION 1**



**EXHIBIT 3.4 ~ CIVIC AUDITORIUM DEVELOPMENT SITE OPTION 2**



**NICHE OPPORTUNITIES**

Elimination of the current visitor-serving restrictive zoning should increase the attractiveness of the District to prospective tenants. A village designation, with clear design guidelines protecting the scale and character of the District, opens the opportunity for the District to become a premiere address in San Gabriel for local serving businesses, including office uses (architects, designers, realtors, mortgage companies, etc.) and limited restaurant and specialty retail uses.

The District currently has limited niches that focus around our anchors: the Mission, Civic Auditorium, and City Hall.



**3.5 In order to further promote the District, introduce people to this historic oasis, and create a District that makes dollars and sense, we need to do the following:**

- Recruit local serving retail and services into the District.
- Showcase the District. Host more community events in the District in order to familiarize residents with the area.
- Pursue reoccurring events at the Civic Auditorium with a resident theater company or other performing arts group. Season ticket holders attend performances on a regular basis and can become District regulars.



**FOSTERING DISTRICT OWNERSHIP**

The Mission District revitalization will be incomplete without a public/private partnership. Active involvement by people who are property owners, business owners, residents, and community members will be a prerequisite to revitalization. This effort needs to be organized and focused in order to succeed. One possible entity is the Mission District Partnership whose membership is broad-based and which has created a steering committee and subcommittees on access and mobility, business retention and attraction, cultural activities and events, and public information and outreach. These committees are similar to the National Main Street model for revitalization, which has a proven track record. The “Main Street” four points include design, promotion, business retention and recruitment, and organization.





**3.6 The effort to foster this public/private champion for the Mission District needs to include these elements:**

- Strong local leadership to assume a significant role in revitalization efforts should include representatives from the San Gabriel Valley Medical Center, the San Gabriel Mission, the City, District business owners, District property owners and various other stakeholders.
- Long-term funding for events, marketing, staffing and other organizational efforts.
- Professional staffing to guide volunteer work and efforts and to implement Mission District programs.
- Community driven efforts in District design, promotion, business retention and recruitment, and organization.



## Sacred Ground

Land is precious and comes in a limited quantity, so a community must make wise choices as to how its land will be used. Land use planning should recognize that each city, town, village, and neighborhood has its own unique history, character, and identity, which differ from all other places. It is these defining features that create the spirit of a place and which give value and meaning to its inhabitants. This chapter attempts to honor and renew the spirit of this place by integrating the historic, cultural, civic, commercial, and residential functions of the District into a well-balanced whole.

### **LAND USE OBJECTIVES**

Land use in the Mission District will be guided by a respect for the past, the needs of the present, and a vision for the future in order to create a vibrant, functional, and economically-sound neighborhood. The area we now call the Mission District has been recognized for centuries as the ideal location around which to build a thriving community. Whether a tribal village of the native Gabrielino-Tongva people, a Spanish missionary settlement that gave birth to the Los Angeles region, or today's multi-ethnic modern city, this land has been at the heart of human activity. For all its storied history, however, the Mission District of 2004 is commonly seen as lacking something vital, as not reaching its fullest potential. In order to correct these weaknesses, the following land use objectives have been set:

- Provide for higher intensity development in the Mission District.
- Establish land use regulations that support increased pedestrian activity and decreased dependence on motor vehicles.
- Develop regulatory standards that ensure the efficient use of under-utilized properties.
- Provide an engaging street front.



- Expand the allowable uses in the Mission District.
- Provide specific requirements to enhance public amenities of new development.
- Allow for balanced development that minimizes environmental and fiscal impacts to the City.

### **OBSTACLES AND CONSTRAINTS**

This chapter of the Specific Plan will identify the land use issues that will need to be overcome in order for the Mission District to fully flower. These issues include the following:

**A Disconnection of major District landmarks:** There is a lack of synergy in the area between the major attractions: the Mission, City Hall, and the Civic Auditorium.

**A lack of residential uses in the District:** Presently, the Mission District zone does not permit residential uses. The District's role as a cultural and entertainment center for the City depends on having sufficient people to support, if not a "24-hour district," at least a vibrant and active night life. In order to do this, the introduction of residential uses as part of mixed-use developments is desirable. Mixed-use projects can bring additional people (residents) onto the streets in the evenings and on weekends, heightening the sense of the place as one where people want to congregate. Mixed-use development can be a tool for helping to provide affordable housing for seniors, working families, and others with special needs. The challenge will be to create mixed-use development standards tailored to the unique scale, character, and history of the District.

**Code Issues:** The Mission District zone was created in September 1994 "to provide for development which will complement the historic nature of the Mission San Gabriel Archangel and will assist in encouraging uses complementary to a tourist and retail oriented area." This was to be accomplished through specific use, signage, and architectural standards unique to the District. In the years since the inception of the Mission District zone, a modicum of success has been achieved in fulfilling this intent. The uses currently



permitted in the Mission District are appropriate for the type of pedestrian-friendly, tourist-drawing commercial and entertainment district envisioned. Experience has shown, however, that there are aspects of the current code that actually hinder the Mission District from reaching its full potential. There are several uses that are conspicuous by their absence, and if allowed, could make a significant contribution to providing the critical mass of people needed to animate the District.

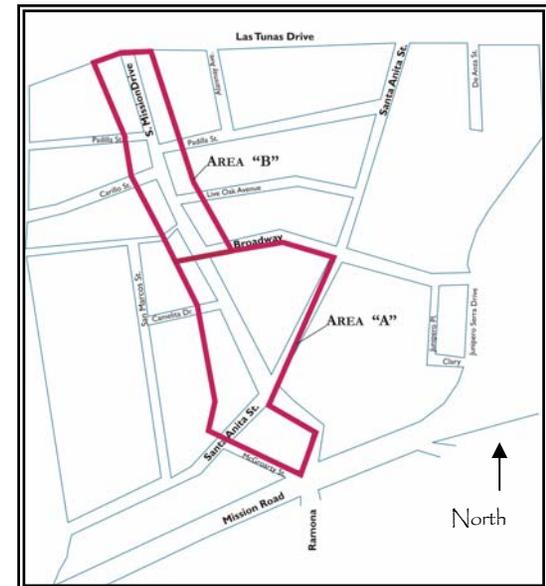
**Allowance for live/work space:** In many areas that are now thought of as urban success stories, such as Old Pasadena and Pine Avenue in Long Beach, artists were often at the vanguard of those helping to revive historic, but long-neglected neighborhoods. Areas such as these have facilitated the positive influence of the art community by crafting their codes to permit live/work spaces for professionals looking for creative space. Well-designed ordinances that permit live/work space have sparked the creative adaptive reuse of vacant or underutilized commercial and industrial buildings. These spaces also have many of the benefits of mixed-use development, as they include residential space and create a round-the-clock population for the neighborhood.

**Absence of lodging in or near the District:** At present, there are no lodging accommodations in or near the Mission District for visitors who wish to stay overnight. While large hotels or motels would not be appropriate to the scale or vision of the District, small bed and breakfast types of facilities may be acceptable. Often these inns are adaptive reuse of single-family homes or other types of non-lodging use. The zoning code does not currently allow this type of use in the Mission District.

**Mission District vitality:** The Mission District has made tremendous strides in beautification since 1990. Similar advancement in economic activity, however, has been hard to come by. While existing zoning regulations have produced some successes, a more comprehensive strategy is called for to help the area reach its full potential.

### **EXISTING LAND USES**

When the Mission District zoning was created in the 1990's, it was divided into Area A (Mission Road to Broadway) and Area B (Broadway to Las Tunas), in recognition of the existing land use pattern. Area A tends to be characterized by its concentration of historic buildings and civic uses, while Area B exhibits a more generalized commercial feel similar to neighboring Las Tunas Drive. Some existing multi-family housing is also present in Area B.



1994 Mission District Zone



The southern half of the district (Area A) encompasses the Mission San Gabriel Archangel (the second oldest building south of Monterey), the legendary San Gabriel Civic Auditorium, the City Hall, the Historic Museum and Hayes House, the Ramona Museum of California, and many other historic and cultural sites. This area also is home to a small cadre of retail shops and restaurants, many of which are struggling to survive. A further challenge for the area is some significant vacant or underutilized buildings, such as the Masonic Lodge, and, until recently, the former “Startups” building, and the old Brave Bull restaurant building.

Finally, Area A is where all of the public parking lots in the Mission District are currently located. These lots are at City Hall, the Civic Auditorium, and the Park and Ride lot adjacent to the former Brave Bull (now Mission 261 restaurant).

In contrast to Area A, where the land use pattern might best be described as institutional/commercial, the northern half of the district (Area B) has a residential/commercial character to it. The section of Mission Drive between Las Tunas and Broadway not only contains commercial uses (mostly general offices, medical/dental offices, and service businesses) but includes some small, older multi-family housing interspersed among the businesses as well. In several cases, these residential buildings are on the corner of Mission Drive and residential streets adjacent to the district, such as Padilla, Live Oak and Carrillo. While the southeast corner of Las Tunas and Mission is anchored by a multi-tenant shopping center, the center is poorly laid out and presents only a limited face to Mission Drive. The 5,000 square foot commercial building recently completed on the southwest corner stands in contrast as a thoughtfully detailed design that embraces the street rather than shirks from it.

“The more successfully a city mingles everyday diversity of uses and users in its everyday streets, the more successfully, casually (and economically) its people thereby enliven and support well-located parks that can thus give back grace and delight to their neighborhoods instead of vacuity.”

Jane Jacobs  
urban geographer



#### **4.1 ZONING**

**Exhibit 4.1** illustrates the existing zoning parcel by parcel. It is clear that an overhaul of the uses permitted in the Mission District zone is an integral part of the formula for stimulating economic activity in the area. In order to implement the vision for the Mission District Specific Plan area, the zone changes are depicted in **Exhibit 4.2**. These changes provide for higher densities in the Mission Village zone and R-3 Arroyo Residential zone, while protecting the charm of the single-family homes on Padilla with the R-1 Villa Residential zone. The names of each zone establish the character we envision for each neighborhood. The Medical Facilities zone will not change from its current zone or permitted land uses;



however, it is an integral part of the Mission District Specific Plan and, as such, is included in the study area.

The **Mission District Village Zone** will contain pedestrian-oriented local-serving commercial and mixed-use development. Development will enhance the area’s quaint and historic character by complementing the Spanish-style architecture to create a beautiful and inspiring space featuring walkways, public art, and views of the Civic Auditorium.

The **R-1 Villa Residential Zone** will feature single family homes that maintain traditional design elements such as single-story construction and no enclosures. The **R-2 Grapevine Residential Zone** will sustain a community atmosphere through medium-density residential structures (such as duplex or triplex apartments, or condominiums) that are built to face the street. The **R-3 Arroyo Residential Zone** inspired by the natural fresh-water landscape and will include amenities such as pathways, trees, courtyards and functional pedestrian alleys.

The **C-1 Garden Mission District Zone** will contain public and semi-public uses, will feature plazas rather than lawns, and will offer pedestrian pathways and public art. The **C-1 Marketplace Zone** will enhance the Las Tunas corridor through infill commercial development built to the street. The **C-3 Mill Zone** will be oriented toward bio-medical, R&D, and other high-tech offices, and will include an improved streetscape achieved through tree planting, widening of sidewalks, and creation of parkways along Mission Road and Santa Anita. The **Medical Facilities Zone** will create a medical campus along Santa Anita, from Las Tunas to Broadway; streetscape improvements along Las Tunas will help form a pleasurable entrance to the area.



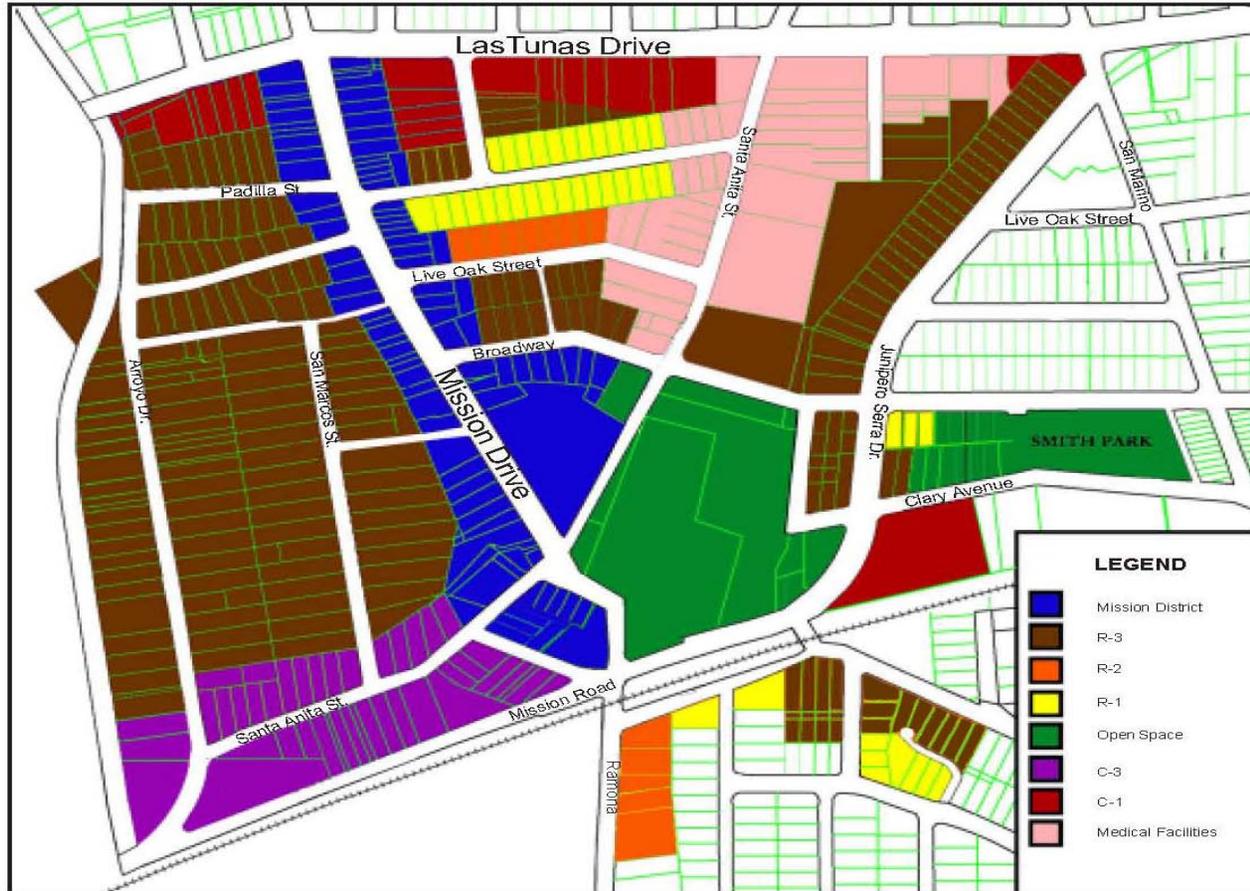
#### **4.2 PERMITTED LAND USES**

The San Gabriel Mission District represents one of the most historic locations in Southern California, with much potential to create a special place for local citizens and the greater community.

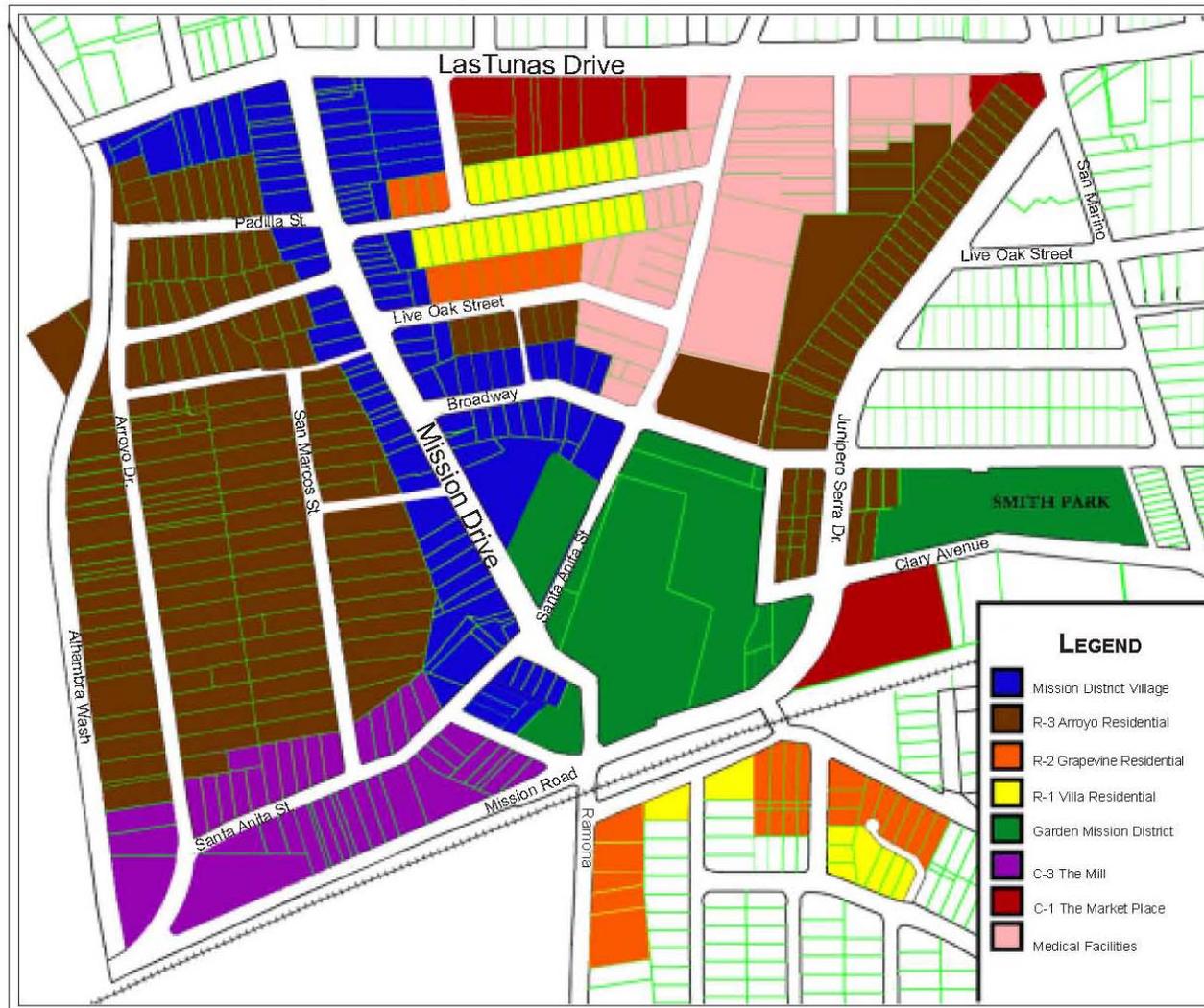
Unfortunately, the present zoning precludes some uses that could help the District become an economically viable area while still retaining the unique historical, cultural, and architectural character that gives the District its charm. **Table 4.1** below illustrates the permitted uses for the zones located within the Mission District Specific Plan Area. **Table 4.2** depicts the permitted uses in the residential zones.



**EXHIBIT 4.1 ~ EXISTING  
ZONING**



**EXHIBIT 4.2 ~ PROPOSED ZONING**



**TABLE 4.1 ~ PERMITTED USES: COMMERCIAL**

TYPE OF USE	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Permitted Uses	<ul style="list-style-type: none"> <li>• Banks and financial institutions</li> <li>• Food and beverage sales and service</li> <li>• General office uses</li> <li>• Live-work space</li> <li>• Lodging/conference facilities</li> <li>• Medical and dental offices</li> <li>• Museums/Art Galleries</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Retail sales</li> <li>• Small-scale service uses</li> </ul>	<ul style="list-style-type: none"> <li>• Auditoriums</li> <li>• City Halls</li> <li>• Fire stations</li> <li>• Libraries</li> <li>• Mission San Gabriel Archangel</li> <li>• Museums</li> <li>• Parks, recreation centers and accessory offices</li> <li>• Police stations or substations</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Schools</li> </ul>	<ul style="list-style-type: none"> <li>• Biotech/high tech</li> <li>• Import/export</li> <li>• Light manufacturing and production</li> <li>• Live/work space</li> <li>• Medical and dental labs</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Research and development</li> </ul>	<ul style="list-style-type: none"> <li>• Banks and financial institutions</li> <li>• Food and beverage sales and service</li> <li>• General office uses</li> <li>• Libraries</li> <li>• Live-work space</li> <li>• Lodging/conference facilities</li> <li>• Medical and dental offices</li> <li>• Museums/Art Galleries</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Retail sales</li> <li>• Small-scale service uses</li> <li>• Vending carts on private property in conjunction with a retail establishment as provided for in Section 153.163 of the San Gabriel Municipal Code</li> </ul>
Temporary Uses Subject to Permit	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>



Mission District Specific Plan ~ Land Use

TYPE OF USE	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Conditional Uses	<ul style="list-style-type: none"> <li>• Alcohol sales in bona fide restaurants</li> <li>• Live entertainment in any form</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Restaurants with dining rooms open between the hours of 2 a.m. and 6 a.m.</li> <li>• Mixed-use developments</li> <li>• Sale of used goods, including antique sales</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>	<ul style="list-style-type: none"> <li>• Churches</li> <li>• Mixed use developments</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>	<ul style="list-style-type: none"> <li>• Mixed use developments</li> <li>• Warehousing</li> <li>• Wholesale sales</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used</li> </ul>	<ul style="list-style-type: none"> <li>• Alcohol sales in bona fide restaurants</li> <li>• Groceries</li> <li>• Live entertainment in any form</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Restaurants with dining rooms open between the hours of 2 a.m. and 6 a.m.</li> <li>• Mixed use developments</li> <li>• Nursing care facilities, adult or child daycare facilities</li> <li>• Parking facilities located on a separate site from the principal use to which the parking is related</li> <li>• Sale of used goods, including antique sales</li> <li>• Veterinary offices</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>



**TABLE 4.2 ~ PERMITTED USES: RESIDENTIAL**

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Permitted Uses	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• Multiple-family dwellings (apartments, condominiums)</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Residential care facilities housing six or fewer persons</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> <li>• State licensed family day care homes</li> </ul>	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• Multiple-family dwellings (apartments, condominiums)</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Residential care facilities housing six or fewer persons</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> <li>• State licensed family day care homes</li> </ul>	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• One-family dwellings of a permanent character placed in a permanent location</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> </ul>



Mission District Specific Plan ~ Land Use

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Conditional Uses	<ul style="list-style-type: none"> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>	<ul style="list-style-type: none"> <li>• Bed and breakfast inns (with or without conference facilities)</li> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>	<ul style="list-style-type: none"> <li>• Bed and breakfast inns (with or without conference facilities)</li> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>





#### 4.3 **MIXED-USE HOUSING IN NEW AND EXISTING BUILDINGS**

The introduction of mixed-use development (residential units over commercial space) is likely to increase in coming years. Mixed-use offers the ability to provide for needed higher density housing without having to rezone more single-family areas for apartments and condominiums. Designing effective mixed-use projects will require great sensitivity to adjoining single use properties.

In June 1999, the City of San Gabriel hosted a facilitated discussion with Mr. Donovan Rypkema, a nationally known expert on downtown revitalization in historic districts. Among his recommendations, Mr. Rypkema suggested that the Mission District should allow mixed-use development, thus mixing users within buildings and creating residential components within the District. This housing is important because the introduction of residents into the area would have four times the economic impact than workers alone would have.



The idea of combining commercial and residential uses under one roof is a very old concept given new currency in recent years by proponents of “new urbanism,” “livable cities,” and “sustainable development.” A convergence of forces is taking place in contemporary cities that is making mixed-use less like an outdated anachronism and more like a viable tool in combating the forces of auto-dependency, sprawl, and high housing costs.

An area like the Mission District is ideally suited for mixed-use development because it is expressly created to be a place where people could easily walk and would not have to rely on the automobile for getting around the District. Currently, two bus lines serve the Mission District. They are MTA routes 176 (a local line connecting northeast Los Angeles and El Monte) and 487 (an express line between Sierra Madre and downtown Los Angeles). The District’s role as a cultural and entertainment center for the City depends on having sufficient people to support, if not a “24-hour district”, at least a vibrant and active night life. Mixed-use projects could bring additional people (residents) onto the streets in the evenings and on weekends, heightening the sense of the place as one where people want to congregate.



Currently, the Mission District does not allow mixed-use. As the economic realities of development change, developers must increase the density of sites in order to make the construction of a building profitable. While allowing the use of residential units in the Mission District will make the District more vibrant and dynamic, it can also help to address the lack of multifamily housing in the San Gabriel Valley.



#### **4.4 DEVELOPMENT STANDARDS**

As important as a well thought out land use plan is for the success of the Mission District, a list of permitted uses by itself is not enough. It must be coupled with development standards that will result in the desired built environment to make the vision of the Mission District manifest. Along with the sections on urban design and historic preservation, this section puts forth the City’s expectations of those development characteristics that are necessary in order to preserve and enhance the special character of the Mission District. These standards are itemized in **Table 4.3**, Development Standards Commercial, **Table 4.4** Development Standards Residential, **Table 4.5** Parking Requirements Commercial, **Table 4.6** Parking Requirements Residential and Standards **Table 4.5**.

**4.4.1 Development of Properties Adjoining Cultural Resources:** Proposals for development on parcels directly adjacent to sites identified as cultural or historical resources within this plan shall be subject to review against the following standards. All new development adjoining properties listed in Section 5.1.1 of this plan shall provide for the following as required by the Planning Commission, Design Review Commission, Community Development Director or designee:

- The protection and preservation of historic, specimen, or rare plants, trees, vegetation and shrubs;
- The protection and establishment and view corridors and pedestrian connections between historical and cultural resource sites and existing corridors such as Mission Road, Mission Drive, Ramona Avenue, and Junipero Serra Drive, as well as landscaped pedestrian ways, or “paseos,” that may be created with new projects under this plan.
- Protection of historical orientation, elements of original streetscape having cultural or scenic value
- Elimination, removal or replacement of improvements inconsistent with the architectural, design, streetscape and preservation standards of the plan
- Use of complementary materials, colors, textures, planting palette, design features, streetscape components, and



- Protection of sight lines, both across properties, and at the roof level; scale of new development so as to preserve visibility and appropriate scale.
- Elimination of utility equipment, rooftop equipment, trash enclosures or other equipment and structures that could create unsightly background as seen from a historic site or cultural resource.
- Concealment of utility structures and equipment, including cable equipment, vaults, backflow devices, and other physical installations.
- Elimination of fencing if designed in a manner inconsistent with the appropriate style and treatment of fencing associated with the character-defining features and context associated with specific cultural and historical resources.
- Undergrounding of overhead electrical utilities as required by the San Gabriel Municipal Code.

“In many parts of the country, mixed use is being looked upon more favorably by both public and private sectors. For so many reasons—public safety being just one—it is good that we are mixing a variety of uses with one another again, and exploring ways of better integrating compatible uses rather than separating them.”

Zelinka & Brennan



**TABLE 4.3 ~ DEVELOPMENT STANDARDS: COMMERCIAL**

STANDARD	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Minimum Lot Size <i>(Newly created lots only)</i>	None	None	None	None
Minimum Lot Width <i>(Newly created lots only)</i>	50 feet	50 feet	50 feet	50 feet
Minimum Landscaped Setbacks				
▪ Front	0'	0'	10% of net lot depth	0'
▪ Rear	10 feet <i>(abutting non-residential zone);</i> 20 feet <i>(abutting residential zone)</i>	10 feet <i>(abutting non-residential zone);</i> 20 feet <i>(abutting residential zone)</i>	10% of net lot depth	10 feet
▪ Side	0'	0'	0	0'
▪ Street Side	0'	0'	10% of net lot width	0'
Landscaping	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan
Maximum Building Height	40 feet	40 feet	40 feet	40 feet
Minimum Building Separation	Per Fire Code	Per Fire Code	Per Fire Code	Per Fire Code
Maximum Floor Area Ratio	0.50 (1.00 for mixed use projects)	0.50 (1.00 for mixed use projects)	0.70 (1.00 for mixed use projects)	0.50 (1.00 for mixed use projects)
Utility Undergrounding	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.6.1.3 of the Specific Plan
Trash Enclosures	See Section 4.7.1.9 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.6.1.3 of the Specific Plan
Minimum Driveway Width	20 feet	20 feet	20 feet	20 feet
Maximum Fence or Wall Height	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference
Stormwater Management Requirements	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	See Section 4.6.1.8 of the Specific Plan



**TABLE 4.4 ~ DEVELOPMENT STANDARDS: RESIDENTIAL**

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Maximum Density	24 units/acre (1 unit/ 1,742 sq. ft. of net lot area) 40 units/acre (1 unit/ 1,089 sq. ft. of net lot area) if lot size is at least 32,670 sq. ft and lot width is at least 150 feet (additional density bonus possible for senior and/ or affordable units)	12 units/acre (1 unit/ 3,960 sq. ft. of net lot area) 20 units/acre (1 unit/ 2,178 sq. ft. of net lot area) if lot size is at least 32,670 square feet and lot width is at least 150 feet (If lot width is less than 150', the current R-2 zoning requirements for outside the Mission District apply)	6 units/acre (1 unit/ 7,260 sq. ft. of net lot area)
Minimum Lot Size (Newly created lots only)	10,000 square feet	10,000 square feet	7,260 square feet
Minimum Lot Width (Newly created lots only)	70 feet	70 feet	50 feet (interior lots); 55 feet (corner lots)
Minimum Landscaped Setbacks			
▪ Front	15 feet	15% of net lot depth	20 feet (Unenclosed or uncovered front porches may project 6' into the front yard)
▪ Rear	15% of net lot depth; 5 feet (accessory buildings) (rear yard setback for properties on the west side of Arroyo Dr. will be measured from the nearest edge of the flood control easement)	20% of net lot depth; 5 feet (accessory buildings)	15 feet; 5 feet (accessory buildings)
▪ Side	10 feet (if building is 24' or less in height); 15 feet (if building is 25-36' in height); 20 feet (if building is 37-48' in height); 5' (accessory buildings)	5 feet (if building is 15' or less in height); 10 feet (if building is 16-28' in height); 2 feet (accessory buildings)	4 feet; 2 feet (accessory buildings)
▪ Street Side	12 feet	10 feet	8 feet
Minimum Open Space	300 sq. ft. per bedroom (Covering of the Albambra Wash is prohibited; for properties on the west side of Arroyo Dr. either scenic easements along the Wash or the front yard setback can be counted as open space. The flood control easement itself does not count as open space)	400 square foot per bedroom	
Maximum Building Height	48 feet 15 feet (accessory buildings)	28 feet 15 feet (accessory buildings)	15 feet



## Mission District Specific Plan ~ Land Use

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<b>STANDARD</b>	<b>R-3 ARROYO RESIDENTIAL</b>	<b>R-2 GRAPEVINE RESIDENTIAL</b>	<b>R-1 VILLA RESIDENTIAL</b>
Minimum Building Separation	20 feet ( <i>main building to main building</i> ); 6 feet ( <i>main building to accessory building</i> )	20 feet ( <i>main building to main building</i> ); 6 feet ( <i>main building to accessory building</i> )	6 feet ( <i>main building to accessory building</i> )
Maximum Lot Coverage	60%	55%	35%
Maximum Floor Area Ratio			0.35
Utility Undergrounding	See Section 4.7.1.10 of the Specific Plan	See Section 4.7.1.10 of the Specific Plan	See Section 4.7.1.10 of the Specific Plan
Trash Enclosures	Required on projects of 3 units or more. See Section 4.7.1.9 of the Specific Plan	Required on projects of 3 units or more. See Section 4.7.1.9 of the Specific Plan	
Minimum Driveway Width	20 feet	12' feet maximum ( <i>1-3 units</i> ); 20 feet ( <i>4+ units</i> )	12 feet maximum
Maximum Fence or Wall Height	4 feet high in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference	Prohibited in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference	Prohibited in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference
Stormwater Management Requirements	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	



**TABLE 4.5 ~ PARKING REQUIREMENTS COMMERCIAL**

USES	MISSION DISTRICT VILLAGE/OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
<b>Residential</b>			
Live/Work Space	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units
Residential-Mixed Use	1 covered space/bedroom + 1 guest space for every 3 units	1 covered space/ bedroom + 1 guest space for every 3 units	1 covered space/ bedroom + 1 guest space for every 3 units
<b>Restaurants &amp; Lodging</b>			
Restaurants	1 space / 300 square feet		1 space / 100 square feet
Outdoor Dining ( <i>on private property</i> )	1 space / 300 square feet		1 space / 300 square feet
Bed & Breakfast	2 spaces + 1 space / guest room		
Bars with Live Entertainment	1 space / 150 square feet		1 space / 75 square feet
<b>Studios and Offices</b>			
Less than 2,000 sq. ft.	1 space / 750 square feet	1 space / 200 square feet	1 space / 200 square feet
2,001 – 5,000 sq. ft.	1 space / 750 square feet	1 space / 250 square feet	1 space / 250 square feet
Greater than 5,001 sq. ft.	1 space / 750 square feet	1 space / 300 square feet	1 space / 300 square feet
<b>Retail</b>			
General Retail	1 space / 750 square feet of gross floor area (GFA)		
Less than 10,000 sq. ft.	1 space / 750 square feet of gross floor area (GFA)		1 space / 250 square feet
Greater than 10,000 sq. ft.	1 space / 750 square feet of gross floor area (GFA)		1 space / 300 square feet
Furniture Stores	1 space / 1,000 square feet		1 space / 500 sq. ft.



Mission District Specific Plan ~ Land Use

USES	MISSION DISTRICT VILLAGE/OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
<b>Services</b>			
Banks, Savings, Loans	1 space / 225 square feet		1 space / 225 square feet
Barber and Beauty Shop	1 space / 750 square feet		1 space / 250 square feet
Veterinary			1 space / 250 square feet
Medical & Dental Offices	1 space / 750 square feet		1 space / 200 square feet
Medical & Dental Labs		1 space / 250 square feet	
Convalescent / Nursing Facility			0.5 spaces / patient bed
Adult or Child Daycare			1 space /employee + 1 space/adult or child, based on facility capacity
<b>Community Uses</b>			
Library			1 space / 300 square feet
Museum/Art Gallery	1 space / 750 square feet		1 space / 300 square feet.
<b>Manufacturing</b>			
Light Manufacturing		1 space / 500 square feet of industrial area + 1 space / 250 square feet of office use + 1 space / 1,000 square feet of warehouse area.	
Research and Development		1 space / 400 square feet	
Warehousing		1 space / 1,000 square feet	
Wholesaling		1 space / 400 square feet	



**TABLE 4.6 ~ PARKING REQUIREMENTS RESIDENTIAL**

USES	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Residential			
Single-Family Housing			2 covered parking spaces <i>(20 ft. x 20 ft.)</i>
2 <sup>nd</sup> dwelling: studio/1bed	1 space <i>(covered or uncovered; tandem parking prohibited)</i>	1 space <i>(covered or uncovered; tandem parking prohibited)</i>	1 space <i>(covered or uncovered; tandem parking prohibited)</i>
2 <sup>nd</sup> dwelling: 2 bedrooms	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>
Multiple Family Housing	Minimum 2 car garage / unit + 1 guest space for every 3 units	Minimum 2 car garage / unit + 1 guest space for every 3 units	
Senior Citizen Housing <i>(multi-family)</i>	0.75 space / unit <i>(covered or uncovered)</i>	0.75 space / unit <i>(covered or uncovered)</i>	
Bed & Breakfast		2 spaces + 1 space / guest room	2 spaces + 1 space / guest room



**TABLE 4.7 ~ STANDARDS**

*Any details or issues not specifically covered in these regulations shall be subject to the regulations of the San Gabriel Municipal Code.*

CATEGORY	STANDARD
A. Development Standards	1. <b>BUILDING HEIGHT LIMITS IN NON-RESIDENTIAL ZONES:</b> The maximum building height in non-residential zones shall be three stories, not to exceed 40', excluding special architectural elements such as bell towers, theme towers, and, parapet accents, which may extend to 50' upon Design Review Commission approval of a Precise Plan of Design. Towers for mechanical equipment, elevators or cooling shall be subject to the 40' limit unless treated as an architectural element.
	2. <b>COMPLIANCE WITH MINIMUM LOT SIZE AND DIMENSION REQUIREMENTS:</b> Where an existing lot or parcel of record has less width, depth or area than required by this specific plan at the time of adoption of this specific plan, the entire lot or parcel may be occupied by any use permitted by this specific plan without regard to the specific plan's minimum lot size requirements. Nothing in this section, however, shall be construed so as to permit expansion or enlargement of an activity without first securing appropriate City approvals as required by this specific plan and the San Gabriel Municipal Code.
	3. <b>MECHANICAL EQUIPMENT:</b> All mechanical equipment such as heating and air conditioning units shall be completely screened from surrounding properties by use of parapets, architectural features, walls, fences, or shall be enclosed within a building. Roof-mounted equipment shall not be visible from surrounding streets or residential areas. It shall be screened with parapets, architectural features, or enclosures architecturally compatible with the building. Transformers, utility vaults, fire equipment, and similar facilities shall be placed in unobtrusive locations if possible and screened to the extent possible without obstructing required access.
	4. <b>PROJECTIONS INTO REQUIRED SETBACKS:</b> Architectural elements including, but not limited to, bay windows, chimneys, eaves, balconies, planters, plant shelves and non-structural canopies may project into the required side setback area a maximum of 2' and into the required front yard and rear yard setback areas a maximum of 4'. In residential zones, uncovered, unenclosed patios may project 10' into the required rear yard setback area while covered, unenclosed patios may project 5' into the required rear yard setback area. In the R-1 Villa Residential zone, uncovered or unenclosed front porches may project 6' into the required front yard setback area.
	5. <b>SETBACKS:</b> Building setbacks shall be measured perpendicularly from the property line. Circulation including, but not limited to, driveways and walkways shall be permitted in setbacks.
	6. <b>SITES IN ALL ZONES EXCEPT THE R-1 VILLA RESIDENTIAL ZONE:</b> Architectural treatment shall prevent any negative impacts resulting from building massing from affecting the neighboring single-family homes. Mitigations include, but are not limited to, roof pitch and orientation, window placement, and balcony location, and location of second story and theme elements.
	7. <b>STORAGE:</b> Storage areas shall not encroach into required parking, loading areas, drive aisles, trash areas, required landscape or required setbacks. Storage shall be fully screened from public view as provided for in Section 153.159 of the San Gabriel Municipal Code.
	8. <b>STORMWATER MANAGEMENT:</b> The federal government has introduced the National Pollution Discharge Elimination System (NPDES) program to reduce pollutants in storm water. Legislation was enacted as a result of severe and continuing pollution of the nation's ocean shorelines, rivers, and lakes into which storm water drains. "Best Management Practices" (BMPs) to reduce pollution have been developed by the State of California. They are implemented through a county permit process and carried out by local government. During construction, for example, developers must ensure that streets serving a site be kept clean and runoff kept on the site and out of the storm drains. Erosion and sediment must be controlled. Chemical spills must be cleaned up on site rather than washed away. City inspectors enforce the NPDES requirements. The following types of projects are subject to NPDES requirements: <ul style="list-style-type: none"> <li>▪ Commercial development w/100,000+ sq. ft. of impermeable area</li> <li>▪ Free-standing restaurants</li> <li>▪ Parking lots w/5,000+ sq. ft. or 25+ parking spaces</li> <li>▪ Creation or addition of 5,000+ sq. ft. of impervious surfaces on any already developed site</li> <li>▪ 10+ units residential units</li> </ul> The City Engineer will be responsible for determining on a case-by-case basis specific BMPs to be required on each of the above types of projects.



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
A. Development Standards	<p>9. TRASH ENCLOSURES: Trash areas shall be shielded from view by being placed within a building or area enclosed by a solid masonry wall 6' in height. This wall shall be screened by climbing vines or other appropriate landscaping techniques. The entrance to the trash enclosure shall have a durable, opaque, metal gate matching the architectural treatment of the building. Trash enclosures shall not be directly visible from a street unless the unique configuration of a lot makes this requirement infeasible, as determined by the Community Development Director or his designee. Trash enclosures shall be located so that trash trucks may have ready access and not be blocked by parked cars or other obstacles. Minimum inside dimensions for a trash enclosure shall be 8' by 10', however larger enclosures may be required as determined necessary for the needs of the use of the building by the City's waste hauler. Trash enclosure areas and details showing building materials, treatment, gate design, overhead trellis if applicable, and landscaping shall be shown on precise plans and be approved by the City.</p>
	<p>10. UTILITIES: All utilities shall be installed underground. Electrical vaults, meters and utility boxes, and gas meters shall be screened by landscaping and located to minimize their visual impact.</p>
B. Dwelling Units	<p>1. LIVE/WORK SPACE: The following standards shall apply to live/work spaces:</p> <ul style="list-style-type: none"> <li>▪ The minimum unit size shall be seven hundred fifty (750) square feet.</li> <li>▪ Each unit shall have a separate entrance that is clearly identified to provide for emergency services.</li> <li>▪ No less than thirty three percent (33%), and no more than fifty percent (50%) of any unit shall be used for exclusive residential purpose such as sleeping area, kitchen, bathroom and closet areas. The unit shall provide as a minimum full cooking and bathing facilities.</li> <li>▪ All necessary building permits shall be obtained prior to the use of the space for residential occupancy.</li> <li>▪ No mechanical equipment shall be used which generates noise higher than the noise standards established for residential uses by the General Plan.</li> <li>▪ There shall be no outside operations, outside storage or outdoor display of materials or products.</li> <li>▪ No toxic, explosive, flammable, combustible or corrosive materials are to be stored or used on the site in quantities or in a manner that violates any provision of the Uniform Fire Code. No etiologic or radioactive materials shall be used or stored on the site at any time.</li> <li>▪ No process shall be used which is hazardous to public health, safety or welfare.</li> <li>▪ The home occupation shall not displace or block the use of parking spaces required for the residential use including any business storage in required parking areas.</li> <li>▪ Not more than two (2) vehicles shall be used in the business. Only one vehicle may be commercially licensed.</li> <li>▪ The Community Development Director or his designee may require the discontinuance of a work activity in a live/work space if as operated or maintained there has been a violation of any applicable condition or standard. The Community Development Director or his designee shall have the authority to prescribe additional conditions and standards of operation for any category of work activity in a live/work space.</li> </ul>
	<p>2. RESIDENTIAL ZONES: Each of the residential zoning designations is intended to be unique and mutually exclusive of one another. Although some uses may be permitted in more than one residential zone, it is not the intent of this specific plan that all uses permitted in the R-1 Villa Residential zone be permitted in the R-2 Grapevine Residential and R-3 Villa Residential zones as well.</p>
	<p>3. SENIOR HOUSING: If a senior housing complex is proposed, it shall be designed by an experienced senior housing consultant, familiar with senior needs. A senior housing project shall include amenities consistent with senior needs. This may include, but not be limited to, a spa and pool, a recreation center, picnic tables, or a library.</p>
C. Driveways	<p>1. NEW DRIVEWAYS ON MISSION ROAD, MISSION DRIVE, AND LAS TUNAS DRIVE: It is the intent of this specific plan to reduce the number of curb cuts for driveways on Mission Road, Mission Drive, and Las Tunas Drive and thereby improve traffic flow and vehicular and pedestrian safety. For new developments located on parcels with frontage on any of these streets, no new curb cuts for driveways shall be allowed, unless determined necessary by the City Engineer. Wherever possible, existing curb cuts for driveways on these streets should be eliminated or consolidated with adjacent driveways when new development is proposed.</p>
	<p>2. VEHICULAR OPENINGS: Vehicular access to any lot or parcel shall not be less than 100 feet apart measured from standard drive approach center to center. This standard shall not prevent a legally subdivided parcel from gaining legal access to the street, but shall encourage shared driveways and driveway consolidation. Driveways shall be minimized and placed 100 feet apart, where feasible. Driveways locations shall be a minimum of 100' from corners. Exceptions to these standards shall only be made on a case-by-case basis subject to the review and approval of the City Engineer.</p>



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
D. Landscaping	<p>1. LANDSCAPING IN NON-RESIDENTIAL ZONES: On-site landscaping in nonresidential zones shall conform to the following minimum standards:</p> <ul style="list-style-type: none"> <li>▪ Parking lot planter strips shall have a 7' minimum clear width, including two 2' overhangs from adjacent parking stalls.</li> <li>▪ Landscape buffer strips along property lines shall have a minimum 7' interior width and shall serve to screen adjoining uses. Buffer strips shall include ground cover, shrubs and trees to create a dense screen which providing depth, texture and color variation.</li> <li>▪ A minimum of one tree shall be planted within the parking lot for every four parking stalls.</li> <li>▪ Landscaped berms and low walls shall provide a 36" high screen along street setbacks, minimizing the visual impact of parking lots.</li> <li>▪ Enriched accent paving, including, but not limited to, stamped concrete, cobblestones, and road pavers shall be used in parking lots, drive aisles, and pedestrian crossing areas.</li> <li>▪ When adjacent to the Alhambra Wash, landscaping treatments shall line the wash and shall enhance the wash's intersection with the property.</li> </ul>
	<p>2. RESIDENTIAL ALLEY STANDARDS: Residential alleys should be improved according to the following standards:</p> <ul style="list-style-type: none"> <li>▪ Public alleys shall not be used for the permanent storage of private property or trash receptacles.</li> <li>▪ All trash receptacles shall be screened from direct public view through the use of screening systems such as fences, walls, hedges, enclosures and garage storage.</li> <li>▪ Rear yard landscaping visible from and/or contiguous to public alleys shall be properly trimmed and maintained.</li> <li>▪ When rear yards are used for open storage, a solid 6' fence or wall shall be provided at the rear property line.</li> <li>▪ Rear yards open to the alley shall be free of weeds and debris.</li> </ul>
	<p>3. SITES ABUTTING OR ADJACENT TO RESIDENTIAL ZONES OR RESIDENTIAL ALLEYS: Landscaping and an opaque screen 6' high of a material and design appropriate to the neighborhood shall be installed along all site boundaries that abut a residential zone. The Design Review Commission may approve higher screens on a case-by-case basis based on findings that a 6' screen is inadequate, or where there is unusual topography or constrains due to location of existing buildings.</p>
E. Parking	<p>1. COMMON AREA PARKING: Common area parking, whereby tenants of a commercial building or center share use of a parking area even though lot lines may bisect the parking area may be approved as part of a Precise Plan of Design.</p>
	<p>2. COVERED PARKING FOR RESIDENTIAL AND MIXED USE DEVELOPMENTS: Covered parking for residential and mixed use development may consist of a garage, carport, or porte-cochere. All covered parking structures, whether attached or detached from the main residential building, shall be designed to be architecturally compatible with the main residential building and shall comply with all applicable provisions of this specific plan, the Uniform Building Code, and the Uniform Fire Code.</p>
	<p>3. DRIVE LANE AND PARKING LOT GRADES: Drive lane and parking lot grades should not exceed 5%. Exceptions may be made for driveways serving below-grade parking areas, subject to review and approval by the City Engineer.</p>
	<p>4. JOINT USE OR SHARED PARKING: Joint use or shared parking facilities, either on, or offsite may be approved in conjunction with, and as part of a project approval when the hours of operation of the uses do not conflict.</p>
	<p>5. LOADING AREAS: All loading shall be performed on site. Truck loading areas shall be located so that they are not seen from the public right-of-way. Where this is not possible due to unique circumstances of a site, truck loading shall be screened with an architecturally compatible screen wall and landscaping. Sites shall be designed to avoid locating truck-loading areas near residential zones.</p>
	<p>6. PARKING LOT LIGHT STANDARDS: Parking lot light standards shall not exceed 20' in height. In parking lots adjacent to residential zones, light standards shall not exceed 12' in height and shall be directed and shielded to prevent light and glare spillover into the adjacent residential zone.</p>



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
E. Parking	7. <b>PARKING LOTS FACING ONTO MISSION DRIVE:</b> It is the intent of this specific plan to encourage new development along Mission Drive to be constructed close to the sidewalk, in keeping with the traditional pattern of development. As such, parking lots serving new development along Mission Drive shall be located behind the buildings.
	8. <b>PARKING STALL DIMENSIONS IN NON-RESIDENTIAL ZONES:</b> In all non-residential zones, a standard parking stall shall be 9' wide by 18' deep and a compact parking stall shall be 8' wide by 15' deep. All parking stalls located next to a wall, fence, column or post shall be increased by an additional 2' in width. All parking stalls shall be provided with an unobstructed back-up space of at least 25'.
	9. <b>TANDEM PARKING:</b> Tandem parking shall be prohibited, except for mixed-use and live/work developments, multifamily residential developments in the R-3 Arroyo Residential and R-2 Grapevine Residential zones on sites at least 32,670 sq. ft. in size and with a minimum lot width of 150', and valet parking consistent with a valet parking plan approved by the Police Department and the Community Development Director or his designee.
F. Performance Standards	1. <b>NOISE:</b> All commercial and manufacturing activities shall be conducted within a wholly enclosed building. All properties within the <i>Mission District Specific Plan</i> shall be subject to the provisions of Section 130.09 of the San Gabriel Municipal Code, relating to "Noise Caused by Machinery"; Section 100.058, regarding noise, dust or vibration, whether for construction or other purposes; and successor provisions of City ordinances pertaining to noise.
	2. <b>LIGHT AND GLARE:</b> No lighting shall be installed so as to create an overspill onto adjoining residential properties. Exterior lighting fixtures, except as required for historical and design purposes, shall employ cut-off design and adjustable hoods permitting light to be directed onto property and away from property lines as required.
	3. <b>TRASH AND DEBRIS:</b> All properties shall be kept in a neat, clean and orderly condition, free of weeds and debris. No merchandise, equipment, used furniture or other items may be stored in a setback or yard area except to the extent expressly permitted by the <i>San Gabriel Municipal Code</i> and provisions of this plan.
	4. <b>NUISANCES:</b> The provisions of Chapter 98 of the San Gabriel Municipal Code, Sections 98.01 through 98.99 inclusive, shall apply to all properties within the Mission District Specific Plan.



**DEFINITIONS**

*Terms used in these regulations shall have the same definitions as given in the San Gabriel Municipal Code unless otherwise defined herein.*

**Bedroom:** A bedroom shall be considered any room which is not a kitchen, dining room, living room, family room, or bathroom and which is designated as a bedroom or is capable of being used for sleeping quarters, which may contain closets and may have access to a bathroom, and which has at least 125 square feet of floor area (exclusive of closets) and which meets Uniform Building Code requirements for light and ventilation. A determination of the identity of any room shall rest with the Community Development Director or his designee.

**Biotech:** Industrial processes which apply the principles of engineering and technology to the life sciences.

**Building Height:** The vertical distance measured from the average level of the finished grade at the lowest point of the building to the highest point of the structure. The highest point is described as the average parapet level, highest point of screening for mechanical equipment or highest roof peak and does not include architectural projections such as chimneys, theme towers, parapet accents or bell towers.

**Conditionally Permitted Uses:** Uses permitted subject to the issuance of a conditional use permit (must be approved by Planning Commission, subject to conditions of approval) and in accordance with the procedures of this specific plan and the San Gabriel Municipal Code.

**Covered Parking:** One or more parking spaces covered by a permanent structure such as a garage, carport or porte-cochere.

**Floor Area Ratio:** The numerical value obtained by dividing the aboveground gross floor area of a building or buildings located on a lot or parcel of land by the total area of such lot or parcel of land. For residential uses, non-habitable structures such as garages are not included in the floor area ratio calculation. Covered patios and balconies are included in the floor area ratio calculation.

**High-Tech:** Industrial processes which involve highly advanced or specialized technology, systems, devices, machines, and methods.



**Live-Work Space:** Space within buildings that are jointly used for commercial and residential purposes, where the residential use of the space is secondary or accessory to the primary use as a place of work.

**Lot:** A parcel of real property as shown with a separate and distinct number or letter on a plot recorded or filed with the County Recorder, or a parcel of real property abutting upon at least one public street or a recorded private or public street or road easement and held under separate ownership.

**Lot Coverage:** The numerical value obtained by dividing the ground-level gross floor area of a building or buildings located on a lot or parcel of land by the total area of such lot or parcel of land, uncovered decks, patios, etc.

**Mixed-Use Development:** A project, which has residential units, including but not limited to condominium or apartment housing, including senior housing, and one or more non-residential uses such as commercial, retail, business or professional office or related common areas (such as a community room, conference room, or health and fitness room) within a single building or in two or more buildings, which are located on one property. The property may consist of one or more contiguous parcels under single ownership. Mixed-use development shall have the non-residential component on the ground floor

frontage. The housing component of such facilities shall be located above the non-residential component. Such facilities shall be designed and constructed to be appropriate for their use, not retrofitting existing commercial or office facilities or facades.

**Net Lot Area:** The gross area of a lot, minus any dedications or publicly held easements.

**Net Lot Depth:** The mean (average) horizontal distance between the front and rear lot lines of a net lot.

**Office:** Businesses engaged in providing services for individuals and businesses; including attorneys, engineers, realtors and brokers; banks and savings institutes, health professionals, consulting and employment services.

**Ornamental Masonry Wall:** A wall constructed of block, brick, stone or other masonry material designed in such a manner to be compatible with adjacent architecture and aesthetically attractive.

**Parking Facilities:** Areas devoted to the parking of vehicles, including surface parking lots, subterranean or semi-subterranean garages, and above-ground parking structures.



**Permitted Uses:** Uses permitted by right (no special approval required) and in accordance with the procedures of this specific plan and the San Gabriel Municipal Code.

**Public/Semi-Public Facilities:** A facility that provides a public service and is owned or operated by a federal, state, or local government, public or private utility, public or private school or college, church, public agency, or tax-exempt organization.

**Research & Development:** Activities involving the research and development of new technology, systems, devices, machines, methods and materials.

**Screening:** A method of visually shielding or obscuring one abutting or nearby use or structure from another by use of fencing, berms, walls, parapets, roofing or densely planted landscaping.

**Setback:** The required distance from any lot line or building establishing the area in which the principal structure must be placed. Exclusions, such as fences, signs, or landscaping are permitted and regulated under separate development standards.



## Preserving Our Historical Treasures

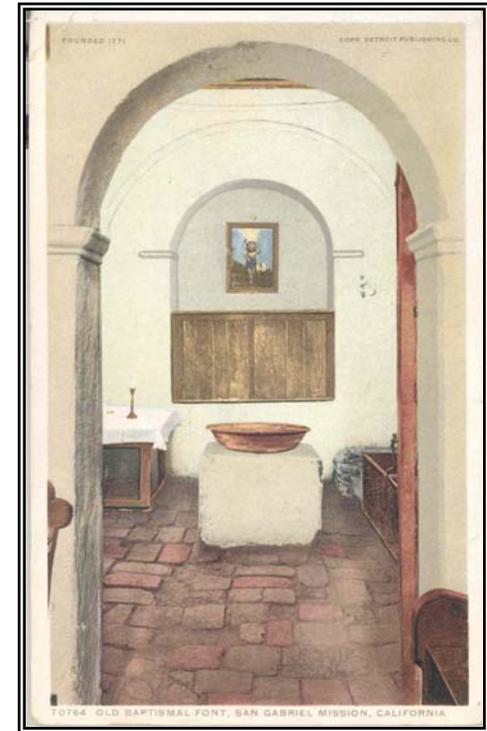
As the birthplace of the Los Angeles region, the Mission District contains a number of buildings and structures which are an integral part of the city, the region, the state, and the nation. Preservation of these buildings and structures is important in order to maintain the historic fabric of the area. Buildings, landscape features, street furniture, walls, public art, plaques, monuments, commercial signs, and archaeological sites in the Mission District represent the diverse life of the community from pre-history to the present. Each object tells part of the story of San Gabriel's evolution.

Consider these gifts from two Spanish Kings to the Mission area. In 1771, King Carlos III gave a silver holy water vessel used for baptisms and special blessings, which is still used in the Mission Church today. In 1927, King Alfonso XIII gave John Steven McGroarty, the poet laureate who wrote the Mission Play and the developer who built the Mission Playhouse, twelve wool and metallic tapestries, representing the Coat of Arms of each Spanish Province. These banners still hang in the Mission Playhouse (the Civic Auditorium). These gifts are just two examples of the many treasures of everyday Mission life, each one worthy of preservation.

The Mission District Specific Plan seeks to identify and preserve historical buildings, monuments, and objects of cultural importance and to establish standards that will assure the preservation of these elements. Since preservation should be a positive experience rather than a punitive one, the Mission District Specific Plan relies on an incentive-based approach, which emphasizes voluntary programs over punitive measures to encourage compliance. Listed below are the objectives for this chapter.

### **HISTORIC PRESERVATION OBJECTIVES**

- Identify historic buildings, monuments, and art objects in the Mission District.
- Provide incentives for the preservation of historic structures.
- Prevent unwarranted demolition of historic structures.
- Establish preservation standards for renovations.



**STRUCTURES, LANDSCAPE, AND ARCHAEOLOGICAL SITES FROM PRE-1775 TO THE PRESENT**

**Pre-1775 San Gabriel:** The defining character of the Mission District is its architecture and cultural significance. The land that encompasses the Mission District Specific Plan is, potentially, full of hidden artifacts left behind by the indigenous people, the Gabrielino-Tongva, who once occupied this land. If artifacts are found, these treasures shall be protected and preserved as part of the heritage, culture, and history of this land.

The Spanish arrived in the San Gabriel area in 1771; the selection of the site for the San Gabriel Mission was, most likely, prompted by the occupation of the area by the indigenous people. Although structures of the original community have not yet been uncovered, the Mission District Specific Plan sets out to protect any found landscape features, structures, artifacts, and archaeological sites associated with the Gabrielino-Tongva people.

**1775 to 1834 Mission Period:** Although many of the original structures associated with the San Gabriel Mission no longer exist, the Mission Church, Mission Museum, and the Lopez de Lowther Adobe are buildings that have survived intact from that period. The foundations and floors of other structures have survived and serve as a framework for reconstruction. In addition, industrial structures, such as the Mission's tallow vats and tank, which stand relatively untouched, and the Chapman Mill, have not, as yet, been studied. The Campo Santo continues to be used while other archaeological sites wait to be identified.

The entire San Gabriel Mission complex is of historical importance. The core of the Mission property that remains intact is only a portion of the land and facilities that belonged to the Mission prior to secularization in 1834. Surviving structures, such as El Molino Viejo, and archaeological remains of other structures that were part of the Mission complex, exist on private or public land throughout San Gabriel and adjacent communities. The Ortega-Vigare Adobe and Rancho Las Tunas Adobe are also premier buildings that survive from the Mission Period. All structures, landscape features, and archaeological sites that were constructed during the period of Spanish rule from 1778 to 1821 and during the period of Mexican rule until the secularization of the San Gabriel Mission in 1834 are included in the San Gabriel Mission District Specific Plan.

**Nineteenth Century:** With the secularization of the San Gabriel Mission in 1834, individual parcels around the Mission were developed as secular communities; residential and commercial



structures were constructed. Spanish and Mexican building technology was slowly replaced by American architectural materials and design.

The core of the San Gabriel Mission that survived secularization contained numerous religious, residential, agricultural, and industrial structures. The history of these Mission structures in regards to demolition, disrepair, and modification after 1834 has not been studied. Also, the condition of the Church and Rectory in the late nineteenth century, after the United States government granted a patent to the Catholic Diocese of Los Angeles in 1874, is still unclear.

Most structures built between 1812 and 1913 no longer exist as they were demolished to make way for new construction. Only two remain: the Mission Church and the priests' living quarters (the current museum). However, some physical evidence of secular buildings from this period could exist in archaeological sites throughout the district. Numerous historical documents exist that might provide information about these archaeological sites.



**1900-1929 Mission Revival Period:** By the 1880s Southern Californians were becoming interested in the Spanish and Mexican roots of the region, particularly the Missions. While the novel *Ramona*, written by Helen Hunt Jackson in 1887 dealt with the plight of the surviving neophyte Mission Indians, the book also idealized the romance of the Mission Period. Manifestations of this idealization included the creation of the California Landmarks Club to restore the Missions, the development of a California architectural style known as the Mission Revival style, and the creation of public celebrations based on Mexican fiestas.

The creation of the Mission play by John Steven McGroarty at the San Gabriel Mission became a focal point of the emerging tourist industry in San Gabriel and Southern California. Plaza Park and the San Gabriel Civic Auditorium are two significant sites associated with the Mission play. One of the few surviving objects associated with the early tourist industry in San Gabriel is the 1906 El



Camino Real monument, erected in front of the San Gabriel Mission by the Los Angeles Section of the El Camino Real Association.

The arrival of the Claretian Fathers to the San Gabriel Mission Church in 1908 was a major step in the preservation, rehabilitation, and continued use of the surviving Mission structures.

By the beginning of the twentieth century, the nineteenth century buildings had been demolished and replaced by new commercial, religious, and public buildings that met the needs of a growing urban core in San Gabriel. The construction of the Mission Playhouse testifies to the immense popularity of the annual pageant. Traditional building materials, such as handmade adobe and hand fired bricks, terra cotta tiles, and wood frame construction, were replaced by new building materials, such as manufactured brick, cement plaster, concrete, and concrete block. In response to the revived interest in the Mission Period, new buildings were designed in the Mission Revival or Spanish Colonial Revival style from 1910 through the 1920s.



**1930-1945 Urban Growth and Development of the Mission Garden:** In the mid 1930s, Father Catalan arrived to serve the San Gabriel parish. He initiated the development of the Mission Garden to serve the needs of tourists who came to San Gabriel to see the Mission. The actual condition of the Garden prior to his arrival has not been documented; however, several structures have been dated. The “Kitchen” was built about 1936, and the memorial to the neophyte Indians dates from 1939.

The area north of Broadway was largely undeveloped until the late 1930s when the land along Padilla Street and Live Oak Street was subdivided for new residences. Spanish Colonial Revival houses were constructed on a small number of lots prior to the beginning of World War II. The remaining lots were empty until the war ended in 1945.

**1946 –1963 Modern San Gabriel:** In the post war years, a wave of new construction included residential, commercial, and religious facilities in the Mission District and throughout San Gabriel. The need for new housing was caused by the limited construction of residences during the height of



the Depression and the unavailability of building materials during the war years. This was exacerbated by the large population growth of the Los Angeles region as people from other parts of the country came to work in new post-war industries. Housing was also needed for the new families of returning servicemen and their young wives.

New single-family residences, duplexes, and two-story apartment units were built on land north of Broadway, land that had not previously been developed. Most of the new housing looked significantly different from what had been constructed prior to the war. The Spanish Revival style was replaced by modern design that was notable for its absence of references to historic architectural styles.

The new commercial structures that were built in the Mission District were mostly located south of Broadway. They were modest stores with few architectural details. North of Broadway in the new residential neighborhoods, professional offices were located in former residences or in structures designed in the modern idiom. The industrial buildings on McGroarty were designed in the contemporary style.

Running counter to the desire for modernity were the new structures built by the Parish in the post-war years. The new grade school, high school, convent, and rectory were designed using the traditional architectural details associated with the Mission Revival or Spanish Colonial Revival styles popular in the first half of the twentieth century. The construction of these structures in the heart of the Mission District helped reinforce the Spanish Colonial architectural vocabulary established in the city core between 1913 and 1941. When the parish built a new church in 1957, they turned to the modern idiom for the Church of the Annunciation.





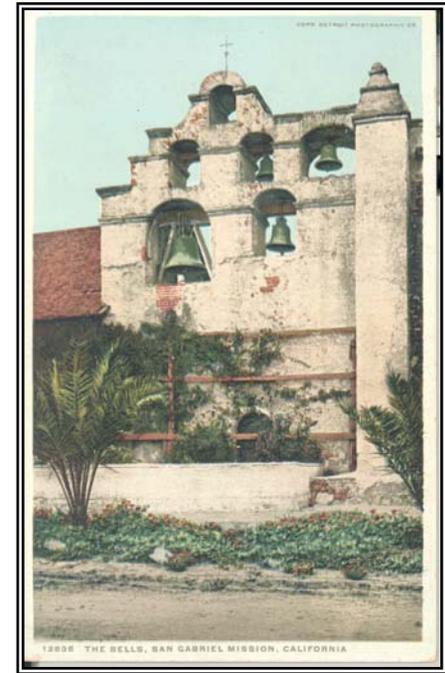
### **5.1 IDENTIFICATION OF CULTURAL RESOURCES**

While only a few buildings of national importance are in the Mission District Specific Plan area, the historical and cultural value of the individual infrastructure, buildings, and landscape features combine to form a historically and culturally rich area. Perhaps, the best analogy is to compare the Mission District's historic and cultural resources to an adobe structure. Every brick within the structure is bound together with clay, dirt, straw, and rocks. Each different material has its own purpose and, when combined with the others, forms a strong structure. Similarly, the individual historical and cultural elements of the Mission District contribute to its overall value.

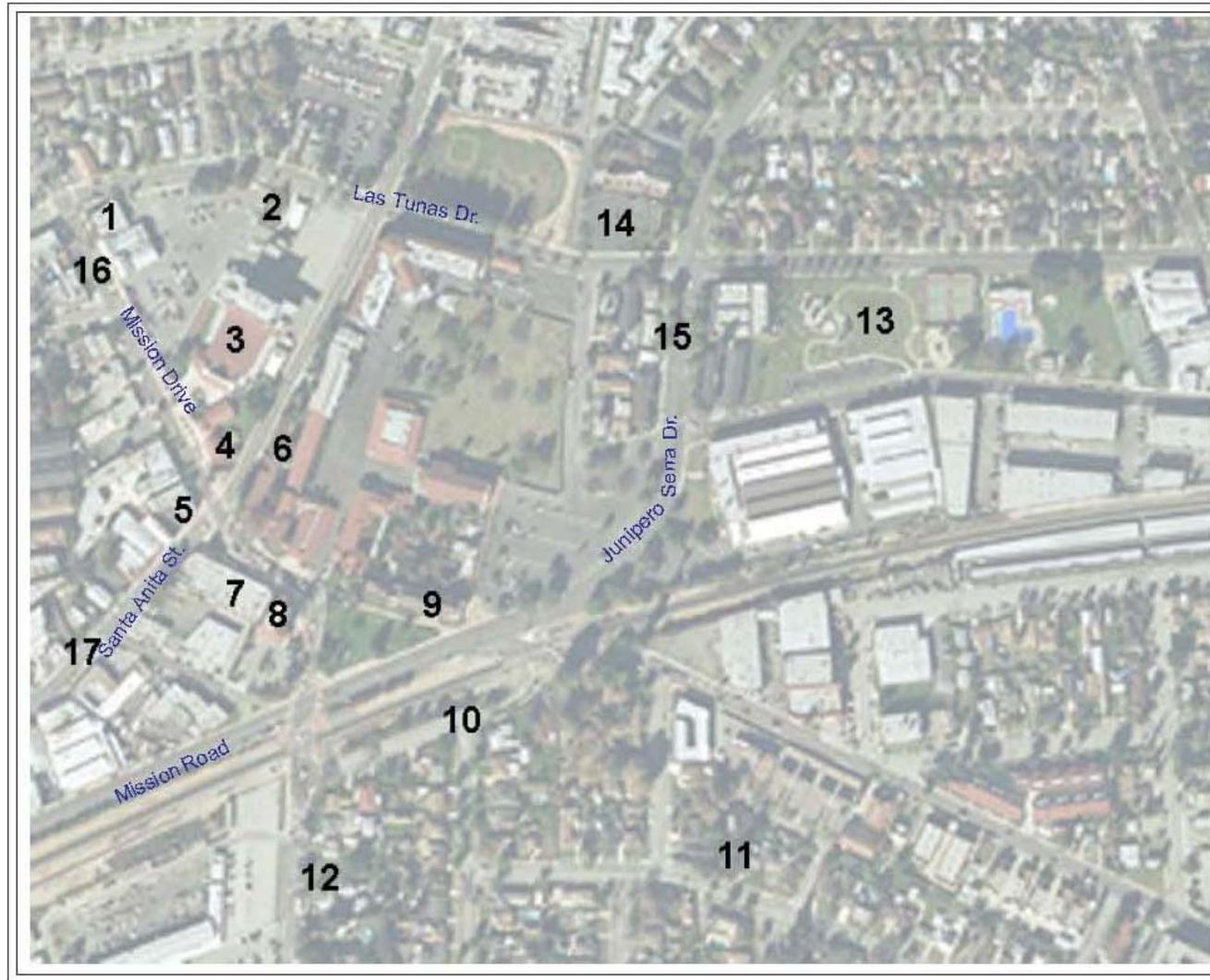
Due to limited resources, the City has not conducted an inventory of the Mission District cultural resources. However, the City has identified several locations of these structures which are listed below and shown in Exhibit 5.1.

#### **5.1.1 Identified cultural resources include the following:**

- San Gabriel Parks and Recreation Department at 250 S. Mission Drive
- Historical Association Museum/Hayes House/Old Jail at 546 W. Broadway
- San Gabriel Civic Auditorium at 320 S. Mission Drive
- Old Grapevine and Grapevine Room at 324 S. Mission Drive
- San Gabriel Fine Arts Association at 343 S. Mission Drive
- Lopez de Lowther Adobe at 338 ½ South Santa Anita Avenue
- Arcade Shops at 403 to 419 S. Mission Drive
- San Gabriel City Hall at 425 S. Mission Drive
- Mission San Gabriel Archangel at 428 S. Mission Drive
- Chapman Mill Ruins
- Las Tunas Adobe 315 Monson Lane
- Ortega-Vigare Adobe at 616 South Ramona Street
- Smith Park at 232 W. Broadway
- Former San Gabriel Women's Club (CHEC Building) at 261 Junipero Serra Drive
- Alhambra Wash (*Not shown in Exhibit 5.1*)



**EXHIBIT 5.1 ~ CULTURAL RESOURCES**



**Legend**

- 1. Parks & Recreation
- 2. Hayes House
- 3. Civic Auditorium
- 4. Grapevine
- 5. Fine Arts Building
- 6. Lopez Adobe
- 7. Arcade Building
- 8. City Hall
- 9. San Gabriel Mission
- 10. Chapman Mill Ruins
- 11. Las Tunas Adobe
- 12. Vigare Adobe
- 13. Smith Park
- 14. CHEC Building
- 15. Junipero Serra Dr.
- 16. Mission Drive
- 17. Santa Anita to Broadway



**5.1.2 Applicability of Standards.** The purpose of Chapter 5 is to identify physical improvements that may be needed over a period of years to preserve and protect historic structures within the specific plan area, but not to require those improvements with routine permits or maintenance that do not substantially affect the building or its character. Specifically:

- Nothing in this plan shall require that a property owner is required to initiate any improvements unless an owner proposes to substantially enlarge, alter, reduce, demolish or reconstruct significant and character-defining features of a structure; rather, the intent of the plan is to provide standards for the evaluation of new construction and improvements if and when a property owner chooses to make them
- In those cases where a property owner applies for alterations to a structure described in (cite pages or sections here), it shall be the responsibility of the Planning Division to identify improvements to be conditioned in a manner that is reasonable and proportional to the level and cost of improvements being proposed.
- The Community Development Director shall review any conditions imposed for reasonableness before recommending them to approval bodies or incorporating them in staff determinations.
- Those determinations shall be subject to administrative review and appeal as elsewhere provided by the San Gabriel Municipal Code.



## **5.2 DESIGNATION**

Designation of cultural resources is an important tool for identifying and protecting structures, landscape features, and archaeological sites that have historical and cultural value. Designation can be made at the federal, state, county and municipal levels. Each form of designation provides different levels of recognition and protection. Designation ensures maximum protection of cultural and historical resources. While designation is voluntary, City staff shall provide assistance in completing required forms and submittal requirements to owners who wish to apply for designation at the federal, state, county, and municipal levels. The City shall maintain a designation program for all cultural resources in the Mission District.

### **5.2.1 Inventory**

The City will establish an inventory of all historic resources in San Gabriel, including the Mission District, which shall include structures, landscape, and site features such as plants and signs. The



City will maintain and expand the list of properties on the National Register of Historic Places, and the California Register of Historic Places.

### **5.2.2 Federal Designation of Historic Buildings**

The City will ensure that historically significant properties and cultural resources are listed on the National Register of Historic Places. The San Gabriel Mission is listed on the National Register of Historic Places. In addition, the following properties located within the Mission District Specific Plan may be eligible for listing on the National Register: Rancho Las Tunas Adobe, Ortega-Vigare Adobe, and the San Gabriel Civic Auditorium.

### **5.2.3 Placement of Plaques for City Designations**

Once structures have been identified, the City will create plaques that recognize the cultural significance of the structure along with particular landscape and site features.

- A. Plaques will be located on structures or at sites in locations approved by the City.
- B. Plaques will follow a specific design developed by the City of San Gabriel.
- C. City Staff will provide text for the plaques.
- D. Building owners may purchase a plaque for installation.



### **5.3 ADDITIONS, REMODELS, AND NEW STRUCTURES**

All applicants are encouraged to confer with the Planning Division prior to application submittal.

Additions, remodels, and new structures in the Mission District Specific Plan area may include:

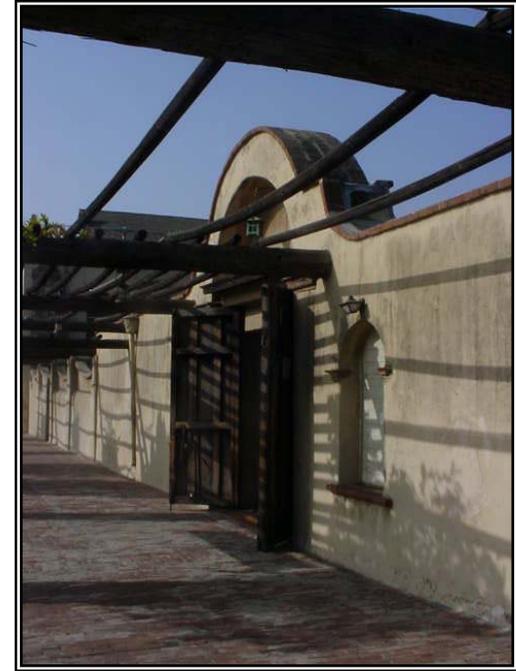
- A. Alteration, addition, restoration, rehabilitation, remodeling, demolition or relocation of a cultural resource.
- B. Work to the exterior of any non-contributing resource within the Mission District Specific Plan area. Reasonable efforts must be made to produce compatibility with the character of the District and, in no event, will there be a greater deviation from existing compatibility.
- C. Infill construction within the Mission District Specific Plan area.
- D. New developments within the Mission District Specific Plan area.



### 5.3.1 Filing Requirements

All applications shall include a site plan fully dimensioned, drawn to scale showing:

- A. Location of existing and proposed structures, including signs, showing dimensions from property line;
- B. Location, size and species of existing trees or natural attributes;
- C. Location of off-street parking. The number of parking spaces (specifying handicapped, compact and regular spaces), type of paving, direction of traffic flow, parking stall dimensions, and areas for turning and maneuvering vehicles;
- D. Location and dimension of drive approaches, off-street loading areas, street and highway dedications;
- E. Refuse disposal and recycling;
- F. Location, height, and material of existing and/or proposed fences and walls;
- G. Means of screening all vents, pipes, antennas and machinery placed on roofs;
- H. Location, height and specifications of all existing and/or proposed exterior lighting;
- I. Location of all utility pipes, valves, vaults and similar appurtenances;
- J. Location of structures on abutting lots showing dimensions to property line;
- K. Materials and colors to be used on the exterior of the resource;
- L. Relationship of the proposed work to the surrounding environment;
- M. Relationship to the existing scale, massing, architectural style, site and streetscape, landscaping, for new construction;
- N. Any other information determined to be necessary for review of the proposed work; and
- O. Required fee(s), as set by Council resolution.



### 5.3.2 Action on Application

A. *Action by Community Development Director.* Projects include alterations, restorations, rehabilitations, remodeling, and additions to cultural resource accomplished in substantial accord with the guidelines set forth in this section, as determined by the Planning Division. If no significant change in appearance occurs or the proposed change restores period features, then those alterations may include, but are not limited to, the following:

- Buildings: Roofing; Foundation; Chimney; Exterior walls, doors, and windows.
- Fences: Construction, demolition, or alteration of side and rear yard fences; demolition,



- alteration or reconstruction of front yard fences that do not have cultural value.
- Landscaping: Landscaping, unless the cultural resource specifically identifies the landscape, layout, features, or elements as having particular historical, architectural, or cultural merit.
- Signs: Alteration of contributing signs, and demolition or alteration of non-contributing signs.
- Accessory Structures or Additions: Accessory structures or additions under five hundred (500) square feet, when not visible from a public right-of-way, if the new construction is accomplished in accordance with the Architectural Design Standards set forth in Chapter 7, and does not destroy any significant architectural features of the resource.
- Period significant contributing interiors.

The Community Development Director, or his designee, shall consider the application within 30 days after the filing of a complete application. The Community Development Director, or his designee, shall approve, disapprove, or approve with conditions, the application. The Community Development Director, or his designee, may refer any project, not otherwise required for Design Review Commission review and recommendation, if he or she deems it necessary to carry out the purposes of this section. Any person dissatisfied with the decision of the Community Development Director may appeal the decision to the Design Review Commission in the time and manner specified in § 153.004 of the San Gabriel Municipal Code.

- B. *Action by the Design Review Commission.* The Design Review Commission will consider all applications not listed in Section 5.3.2(A) above. Once an application is determined complete, it will be scheduled for the next available Commission meeting, allowing for public noticing requirements. The Planning Division will make a recommendation in writing that includes findings of fact relating to the criteria established in this section. The Planning Division will transmit its recommendation to the Commission, the property owner(s), and the applicant. The Commission, within thirty (30) days of receipt of the recommendation, shall approve or disapprove the application citing the findings of fact that constitute the basis for its decision. The applicant shall be notified of the Commission's decision by mail within ten (10) days. The Planning Division will determine the completeness of the application within 30 days.



### 5.3.3 Design Review Commission Standard Findings of Fact

The following findings will be made for all applications. The proposed alteration, restoration, relocation, or construction, in whole or in part, shall not:

- A. Detrimentially change, destroy, or adversely affect any significant architectural feature of the resource;
- B. Detrimentially change, destroy, or adversely affect the historic character or value of the resource;
- C. Be incompatible with the exterior features of other improvements within the Mission District Specific Plan;
- D. Adversely affect or detract from the character of the Mission District Specific Plan; and
- E. All other design review standards shall apply.



### 5.3.4 Demolition Findings of Fact

Demolition of a cultural resource may be issued upon the Commission's finding that it, in whole or in part, is necessary because:

- A. All feasible efforts to restore, rehabilitate, and/or relocate the resource have been exhausted;
- B. Restoration/rehabilitation is not practical because the extensive alterations required would render the resource not worthy of preservation; and
- C. Failure to demolish the resource would adversely affect or detract from the character of the District.

### 5.3.5 Appeal Procedure

- A. Any decision may be appealed to the City Council not later than ten days following the giving of notice of decision. Such appeal will be taken by filing a written notice of appeal with the City Clerk, along with an appeal fee as set by Council resolution.
- B. The City Clerk shall cause the appeal to be set for hearing before the Council within thirty days of receipt of the notice of appeal. The City Clerk shall give the appellant and all persons requesting the same at least ten days' written notice of the time and place of the appeal hearing.





### 5.3.6 Protection of Cultural Resources

Applicants seeking to demolish structures in the Mission District shall follow these procedures:

- A. "Demolition," the act that destroys, in whole or in part, a structure, shall be restricted in order to protect architecturally and culturally significant structures within the Mission District; structures may be subject to an EIR as required by CEQA.
- B. The Planning Division shall mark all building permit jackets of potential historic or architecturally significant structures with sufficient documentation in order to ensure that proper review occurs before demolition or alteration permits are issued.
- C. The applicant will submit a request for demolition review to the City Planner or his/her designee for approval which shall be accompanied by three sets of the following material:
  - Site plan: Dimensioned, scaled site plan at a scale of not less than 1/8" = 1', indicating the location of existing buildings to be demolished; sewer cap location; previous septic systems; AQMD report; asbestos removal report; and grading. A demolition permit shall be obtained separately (this shall include copies of AQMD reports filed, site plan of structures to be demolished and any asbestos reports that are applicable to the demolition).
- D. No demolition of a cultural resource will be permitted without City approval. Environmental review will be required as part of the procedure prior to issuance of a demolition permit.

### 5.3.7 Illegal Demolition of Cultural Resources

The penalties for illegally demolishing a building include:

- A. Imprisonment for up to 6 months in the County Jail and or a fine of up to \$1,000; and
- B. Owner ordered to reconstruct the building under the direction of the historic preservation architect or pay the City the cost to reconstruct the building.



### 5.4 PROMOTING PRESERVATION OF CULTURAL RESOURCES

Sometimes, efforts to preserve and revitalize historic buildings run up against financial obstacles that create challenges in reusing these unique structures. Fortunately, there are several incentives available, which can make preservation more economically feasible.

#### Department of the Secretary of the Interior's Standards for Historic Properties

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.



### 5.4.1 Tax Credits and Grants

As an incentive to restore, rehabilitate, and renovate buildings of cultural value, tax credits and grants are offered by the federal and state government. The City has adopted a Mills Act program. Mills Act requests are initiated by a property owner, citizen, or other interest group.

- A. *The Mills Act.* Provides property tax relief in exchange for continued preservation of historic properties. The Mills Act incentive is available to qualified property owners based on adopted city and state guidelines. A structure must be designated as a local landmark or be a contributing structure within a designated local historic district or older neighborhood. The City enters into a contract with the owner of the historic property in which the property owner agrees to maintain and/or rehabilitate the structure, usually for a period of ten years. In return, the property owner's property taxes are reduced by approximately 50 percent or more.
- B. *Federal Rehabilitation Tax Credit.* Provides a 10%-20% tax credit on rehabilitation spending for designated historic buildings used for commercial purposes.
- C. *Conservation Easements:* Easements are offered by the Pasadena Heritage and Los Angeles Conservancy.

### 5.4.2 Alternative Building Regulations for Rehabilitation of Qualified Buildings

The State Historic Building Code (SHBC) provides alternative building regulations and building standards for the rehabilitation of qualified buildings, structures, and sites of cultural value. The Historic Building Code allows alternative solutions for selected City Building Code requirements, as long as safety is maintained. The State requires the City to use the SHBC. The City Council shall adopt a policy to implement the SHBC.

### 5.4.3 Staff Assistance

City staff can provide assistance in the preparation of forms and documents for submittal to the National Register of Historic Places, State Office of Historic Preservation, or other preservation agencies where such documents are a condition of approval. In addition, assistance can be obtained from the City Staff to achieve a design that is compatible with the historic and cultural fabric of the Mission District.

#### Department of the Secretary of the Interior's Standards for Historic Properties

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.



#### 5.4.4 Further City Actions for Protecting Historic Structures, Landscape Features, and Sites of Cultural Value

- A. Provide limited hours of free architectural assistance by a qualified historic preservation architect.
- B. Prepare and publish manuals to address appropriate and inappropriate types of modifications to historic buildings.
- C. Maintain a library of materials published by the National Park System.
- D. Use Federal tax credits for preservation efforts available to building owners by a Mills Act program.
- E. Coordinate preservation activities with other public programs in order to tap new public monies.
- F. Develop an inventory and database to identify the cultural resources in the Mission District.
- G. Develop a designation program for all cultural resources in the Mission District.
- H. Research and identify archaeological sites.
- I. Become a Certified Local Government (CLG) in order to participate in the federal and state programs that provide incentives for the identification, registration, and preservation of properties of cultural value in the Mission District.
- J. Develop a Cultural Resources Management Plan for all cultural resources within the Mission District.
- K. Develop a maintenance program for long-term rehabilitation and restoration.
- L. Adopt the State of California's Guidelines for Archaeological Research Design, the Archaeological Resource Management Reports (ARMR) to ensure that archaeological sites that are known to exist or are discovered in the Mission District are properly recorded.
- M. Develop a plan of action that will be implemented in case of fire, storm, and seismic damage to buildings of cultural value owned by the city.
- N. Develop a revolving fund for restoration and rehabilitation.

#### Department of the Secretary of the Interior's Standards for Historic Properties

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

<http://www.cr.nps.gov/hps/tps/tax/rhb/stand.h>



#### 5.5 PRESERVATION GUIDELINES

From beautification of storefronts to tax incentives, a number of local, state, and federal programs are available to property owners within the Mission District Specific Plan. The programs are intended to promote the preservation of cultural resources within the Mission



District. Various government agencies, including the City of San Gabriel, provide incentives to encourage and promote the restoration, preservation, and conservation of cultural resources.

Preservation focuses on the maintenance and repair of existing historical structures as they evolve over time. The fundamental goal of the Mission District Specific Plan is to define the existing historic structures and cultural resources. Historic Preservation of cultural resources attempts to protect the symbols, culture, and heritage of the past, for present and future generations.

**5.5.1 Preservation Standards:** This is an opportunity to preserve, restore, and maintain structures of historical and cultural significance. The property owner of cultural resources will preserve the existing original character features of the structure. This requirement will be triggered only at the time that the owners obtain permits for any alterations to the exterior of their structures from the City.

**5.5.2 Architectural Standards:** In order to ensure that San Gabriel's cultural resources are preserved for future generations, the guidelines below were developed to assist owners in the preservation, rehabilitation, protection, and maintenance of their historic resources. The guidelines adapt the United States Secretary of the Interior's Standards for the Treatment of the Historic Properties with Guidelines for Preserving, Rehabilitation, Restoring, and Reconstructing Historic Buildings.

**5.5.3 Restoration Standards of Original Character Features:** The policy in the Mission District for historic buildings is to preserve the existing original character features of Structures of Cultural Value. Where Structures of Cultural Value have been modified, the policy is to restore the structures to the period in which they were built. This requirement is triggered at the time that owners advise the City that they wish to make alterations to the exterior of their structures.

**5.5.4 Exterior Preservation, Restoration, and Maintenance Standards:** As a matter of policy, the City of San Gabriel shall decide to restore the exterior of all Structures of Cultural Value that it owns in the Mission District. A time schedule, priority list, and funding program should be established for this work. All work on properties listed on the Mission District Inventory of Cultural Value should meet the Secretary of the Interior's Standards for Historic Buildings.

A. Preserve the original appearance of the exterior facades.



- B. Restore missing original character defining architectural features.
- C. Restore original painted, clear, and pigmented finishes on the exterior of buildings.
- D. Conduct a survey of the existing exterior conditions of all historic city-owned buildings.
- E. Develop and implement maintenance guidelines and procedures for exterior of buildings.



### 5.6 Privately Owned Structures of Cultural Value

These guidelines will only be triggered at the time that the owners advise the City that they wish to make alterations to the exterior of their structures. All work should meet the Secretary of the Interior's Standards for Historic Buildings.

#### 5.6.1 Commercial Buildings

- A. Survey the existing condition of street facades of buildings and identify missing original character defining features.
- B. Provide incentives for restoration of missing or deteriorated character defining features.
- C. Provide seminars on the use of the Secretary of the Interior's Standards for maintaining the exterior.
- D. Provide seminars on the use of federal, state, and municipal incentives.



#### 5.6.2 Historic Adobes

- A. Prepare documents for placing the Las Tunas Adobe and the Ortega-Vigare Adobe on the National Register of Historic Places, California Register of Historic Places, California Landmarks, and Points of Historic Interest.
- B. Develop special grants program for maintenance of the Adobes.
- C. Provide services listed above for Historic Houses.

#### 5.6.3 Historic Single Family and Multi-Family Residences

The same steps that apply to Commercial Buildings will apply here as well with respect to exterior walls and roofs.



**5.6.4 Bovard-Wilson-Hayes House:** Restore the original exterior paint colors and stains. The original finishes can be determined using microscopic analysis. If the original paint colors and finishes are not restored, then paint colors appropriate to the period can be selected based on documented color schemes used on other houses in the region from the late 1880s. This is the only structure from the late Nineteenth Century in the Mission District.

- A. Perform a yearly examination of the exterior of the residence and jail.
- B. Evaluate the existing condition and make recommendations for any repair or maintenance that is needed.

**5.6.5 San Gabriel Parish Property:** The San Gabriel Mission is the crown jewel of the Mission District; however, the City of San Gabriel presently has limited ability to assist the Parish in maintaining the cultural resource or in protecting it from deterioration. The County of Los Angeles, the State of California, and the federal government do not provide assistance to the Parish or the Archdiocese of Los Angeles in maintaining this national monument. The Getty Foundation, as well as other charitable foundations, can be asked to help preserve one of the most important sites of cultural value in Los Angeles.

The development of the Mission District Specific Plan provides the City of San Gabriel with the unique opportunity to be the catalyst in bringing together all concerned parties to develop a master plan for the Mission and the entire Parish property. A master plan would include the following:

- A. An inventory of all structures, landscape, and site features on the entire mission campus.
- B. A survey of all known and potential archaeological sites.
- C. A history of the evolution of the site with a focus on the identification of structures, landscape, and site features.
- D. An assessment of operations of the historic site and recommendations for resources to operate the site to meet museum standards.
- E. An economic development plan.
- F. Preservation Goals, Standards, and Guidelines for the site.
- G. Maintenance and Conservation Program.



**5.6.6 Non-contributing Period Buildings in the Mission District:** A number of buildings in the Mission District were built prior to the 1960s and do not have distinctive character-defining features. At the point that owners of these structures wish to modify the exterior of their buildings, the design guidelines that govern new construction should be used.

### **5.7 Public Owned Structures of Cultural Value**

These guidelines will only be triggered at the time that the City decides to make alterations to the exterior of Publicly Owned Structures. All work should meet the Secretary of the Interior Standards for Historic Buildings.



#### **5.7.1 City Hall**

- A. Restore first floor windows, shutters, entrances, signage, and original exterior finishes.

#### **5.7.2 Recreation Building**

- A. Restore original windows and doors on all facades.
- B. Restore original concrete block on north and west walls.
- C. Remove paint from concrete block walls on south and east wall.

#### **5.7.3 Civic Auditorium**

- A. Modify additions to the building exterior that detract from the architectural integrity of the original building.
- B. Perform a yearly inspection of the building exterior.
- C. Prepare recommendations for repair.

#### **5.7.4 Adult Recreation Center**

- A. Perform a yearly inspection of the building exterior.
- B. Prepare recommendations for repair.

#### **5.7.5 Grapevine Park Wall and Gate**

- A. Assess the existing condition of the structure.
- B. Prepare recommendations for repair and restoration of deteriorated features that meet the Secretary of the Interior's Standards.





### 5.8 Landscape Features of Cultural Value

Just as an adobe brick is important to the structure of the entire adobe, landscaping is important to the development of houses, commercial buildings, city streets, parks, etc. The Old Grapevine is just one example of a landscape feature of cultural value. A small segment of the original vine whose trellised branches once covered 10,000 square feet is still growing and bearing fruit today.

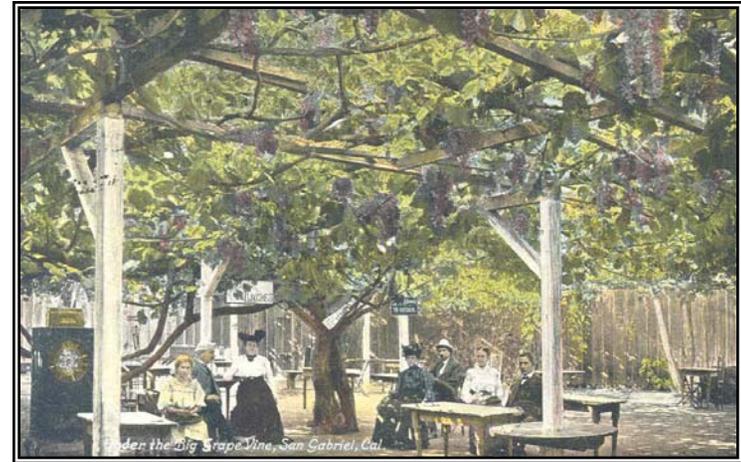
Designation of landscape features will ensure that future generations will be able to enjoy the landscape features of cultural value.

#### 5.8.1 Plant Material

- A. Develop an inventory of landscape features of cultural value.
- B. Protect landscape features of cultural value.
- C. Provide annual assessment of landscape features of cultural value by a City approved arborist; carry out recommended work.

#### 5.8.2 Alhambra Wash

- A. Develop strategies to ensure that the Alhambra Wash will be included in any regional program for restoring the natural condition of the waterway and utilizing it as a recreational or open space facility.



**5.8.3 Signs and Monuments:** Older signs and monuments of the early 20<sup>th</sup> century no longer survive except for the 1906 sign for El Camino Real and the historic plaque for temple at City Hall.

- A. Develop an inventory of historic signs and monuments.
- B. Develop a designation program for historic signs and monuments.
- C. Establish a sign preservation program.

### **PROGRAMS & INCENTIVES FOR PRESERVATION**

Sometimes, efforts to preserve and revitalize historic buildings run up against financial obstacles that create challenges in reusing these unique structures. Fortunately, there are several incentives available, which can make preservation more economically feasible. Below are descriptions of financial incentives that are available should the owners choose to apply.



**FEDERAL**

**Section 106 Review**

The Section 106 Review was established by the National Preservation Act of 1966. The purpose was to ensure that consideration is given to the impact of any project funded by a Federal agency on cultural resources listed or eligible to be listed on the National Register of Historic Places. It is the responsibility of the lead federal agency to carry out the Section 106 review procedure for any project that receives federal funds, federal loans, federal grants, such as Community Development Block Grants (CDBG), federal loan guarantees, or that involves a federal license or permit. This review is administered by an independent Federal agency known as the Advisory Council on Historic Preservation.

When a proposed project using federal funds may impact a structure or site of cultural value, the following process is required:

1. Determine if the property is listed on the National Register of Historic Places.
2. If the property is not listed on the National Register, a determination must be made if it is eligible to be listed on the National Register.
3. If the property is listed or eligible to be listed on the National Register, an evaluation must be made to assess the impact on the property. The Secretary of the Interior's Standards for Rehabilitation is used to make this determination.
4. If there will be a negative impact, the federal agency will consult with the California Office of Historic Preservation to determine if there are modifications that can be made to mitigate the negative impact on the property. This procedure would result in the federal agency, the California Office of Historic Preservation, and any other interested party preparing a Memorandum of Agreement (MOA).
5. The Advisory Council approves and executes the Memorandum of Agreement.

**Federal Certified Local Government Program**

The Certified Local Government Program (CLG) is a national program of the United States Department of the Interior, National Park Service (NPS)

**Federal Tax Deductions**

The Tax Reform Act of 1986 retains the provision established by the Tax Treatment Act of 1980 that permits income and estate tax deductions for charitable contributions of partial interest in



certified historic structures, land area in a registered historic district, and land areas adjacent to property listed on the National Register of Historic Places.

**Federal Historic Preservation Fund Grants**

The United States Congress appropriates \$50 million annually to the Historic Preservation Fund (HPF). The HPF provides matching grants to encourage private and non-federal investment in historic preservation and assists States, local governments, and Indian Tribes in developing their preservation activities. The California Office of Historic Preservation administers the HPF program and selects properties for financial aid under this program. The requirements for participation in the HPF program include the following:

1. The property must be listed on the National Register of Historic Places.
2. Ten percent of the States allocation must be made to Certified Local Governments (CLG).
3. All projects must meet the professional standards set by the United States Secretary of the Interior.

**Federal Rehabilitation Tax Credit**

The federal government encourages the restoration, rehabilitation, and renovation of buildings of cultural value by providing a tax credit for 20 % of qualified renovation costs for owners or investors of designated income producing buildings. To be eligible for the federal income tax credits, the building must meet the following qualifications:

1. The building must be income producing.
2. The building must be a certified designated building listed on the National Register of Historic Places, listed as a contributing building in a National Register Historic District, or listed as a contributing building in a local historic district that has been certified as being eligible for listing in the National Register of Historic Places.
3. The value of the qualified rehabilitation costs must exceed the adjusted value of the property, which is the value of the building minus the value of the land. If the building has been owned for several years, the value of the rehabilitation must equal or be greater than the present depreciated value.
4. The rehabilitation work must meet the Secretary of the Interior’s Standards for Rehabilitation and be certified by the National Park Service.



**STATE**

**California Environmental Quality Act**

The California Environmental Quality Act (CEQA) is the principal statute that mandates environmental assessment of projects in California. The purpose of CEQA is to evaluate whether a proposed project may have an adverse effect on the environment. If it does, an assessment is made to determine how the adverse impact could be eliminated or reduced through mitigation. One of the many aspects of the environment that are reviewed is cultural resources, such as structures, landscape, and archaeological sites.

The California Environmental Quality Act Guidelines (CEQA Guidelines) are the regulations that govern the implementation of CEQA.

CEQA is particularly interested in projects that cause substantial adverse changes to cultural resources. Substantial adverse changes include demolition, destruction, relocation, and alterations that cross the threshold because they significantly alter the cultural resource.

Cultural resources that are listed in, or determined to be eligible for listing in, the California Register of Historic Resources must be given consideration in the CEQA process. This includes projects undertaken by any state agency, local agency, special district, public college, or university, and discretionary projects undertaken by private parties. A discretionary project is one that requires the exercise of judgment or deliberation by a public agency in determining whether the project will be approved or a permit will be issued.

Some common discretionary decisions include placing conditions on the issuance of a permit, delaying demolition to explore alternatives, reviewing the design of a project that includes cultural resources, or replacing projects that follow the demolition of a cultural resource.

A project that has been determined to conform to the Secretary of the Interiors Standards for the Treatment of Historic Properties can generally be considered to be a project that will not cause significant impact.



### **State of California Guidelines for the Curation of Archaeological Collections**

The State Historical Resources Commission issued the State of California Guidelines for the Curation of Archaeological Collections in 1993. The purpose was “to ensure that archaeological collections and associated records are preserved and managed adequately.”

### **Mills Act**

The Mills Act is a State of California program that permits owners of designated properties of cultural value to enter into a contract with the city or county assessor to receive a reduction in the assessed value of the property in return for agreeing to preserve and rehabilitate the property for a minimum period of ten years. The reduction in assessed value means that the property taxes will be significantly lowered for the period of the agreement. If the property owners end the contractual agreement before the end of ten years, there are significant tax penalties.

In order for a property to be considered for the Mills Act Program, the property must meet the following requirements:

1. The property must be an owner-occupied residence or an income producing property.
2. The property must be listed on the National Register of Historic Places, or Designated as a contributing building in a National Register Historic District, or Listed in the California Register of Historic Resources, or Designated as a California Historical Landmark or Point of Historical Interest, or Designated by the City of San Gabriel as a property of cultural value.
3. Apply to the City of San Gabriel to participate in the Mills Act Program.

All rehabilitation work of the property must meet the rules and regulations of the United States Secretary of the Interior’s Standards for Rehabilitation and the rules and regulations of the California Department of Parks and Recreation Office of Historic Preservation.

### **State Historic Building Code**

The State Historic Building Code (SHBC) provides alternative building regulations and building standards for the rehabilitation of qualified buildings, structures, and sites of cultural value. It is the intent of the Historic Building Code to provide reasonable



safety from fire, earthquakes, and other hazards for all occupants and reasonable accessibility for disabled occupants of these buildings.

A qualified building, structure or site of cultural value in San Gabriel includes the following:

1. Property listed or eligible to be listed on the National Register of Historic Places.
2. Property listed as a contributing building in a National Register Historic District.
3. Property listed on the California Register of Historic Places.
4. Property listed as a California Historical Landmark or Point of Historical Interest.
5. Property designated or eligible to be designated by the City of San Gabriel as a property of cultural value.
6. Property included on the City of San Gabriel Inventory of Cultural Resources.

**Archaeological Resources Protection Act (ARPA)**

The Archaeological Resources Protection Act (ARPA) only protects archaeological sites on federal property.

**Public Resources Code (PRC)**

The Public Resources Code, Section 5097.3, protects archaeological sites on state owned land.



**GLOSSARY**

**Alteration:** any change or modification to the character-defining or significant physical improvements or architectural features of a cultural resource.

**Building:** any construction created primarily to shelter any form of human activity.

**California Register of Historical Resources:** the authoritative guide in California to be used by state and local agencies, private groups and citizens to identify the state's historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial change.

**Certified Local Government Program:** the established partnership between the City of San Gabriel and the State Historic Preservation Office designed to identify, evaluate and protect historic resources within the city and to enable the City to participate in the benefits which result from that partnership.

**Cultural:** as used in this article, includes traditional cultures, including but not limited to, Native American or other identifiable ethnic groups.

**Cultural Resource:** a resource which is worthy of preservation because of its historical, architectural or aesthetic merit but which is not proposed for and is not designated.

**Demolition:** the act that destroys, in whole or in part, a structure.

**Exterior Architectural Feature:** the architectural elements embodying style, design, general arrangement and components of all of the outside surfaces of a building, structure or object, including but not limited to the type of building materials and the type and style of all windows, doors, lights, signs and other fixtures appurtenant to such building, structure or object.

**Landscaping:** natural and cultural resources, including vegetation, natural features, structures, objects, roads, or waterways that have been designed, shaped, or modified by human activity. Such landscaping is either recognized as individually significant or identified within a nomination as significant in reference to the primary resource and has been designated as such by the City Council pursuant to the provisions of this article.

**National Register of Historic Places:** the official federal list of districts, sites, buildings, structures and objects significant in American history, architecture, engineering and culture as authorized by the National Historic Preservation Act of 1966.



**Object:** any construction that is primarily artistic in nature or is relatively small in scale and simply constructed. Although an object may be, by nature or design, movable, it is associated with a specific site or environment, such as fountain or boundary marker.

**Preservation:** the act or process of applying measures to sustain the existing form, integrity, and material of an historic property. It may include initial stabilization work, where necessary, as well as ongoing maintenance of the historic building materials.

**Reconstruction:** the act or process of reproducing by new construction the exact form and detail of a vanished building, structure or object, or a part thereof, as it appeared at a specified period of time.

**Rehabilitation:** the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural or architectural values.

**Restoration:** the act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

**Secretary of the Interior's Standards:** the Secretary of the Interior's Standards with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings for the Treatment of Historic Properties published by the U.S. Department of the Interior.

**Site:** the location of a significant event, a prehistoric or historic occupation or activity where the location itself possesses historic, cultural or archaeological value regardless of the value of any existing structure, including but not limited to a designed landscape or the ruins of a building or structure.

**State Historic Building Code:** Title 24, Building Standards, Part 8, California Code of Regulations.

**Structure:** any construction created for purposes other than creating human shelter, including but not limited to a bridge or water tower.

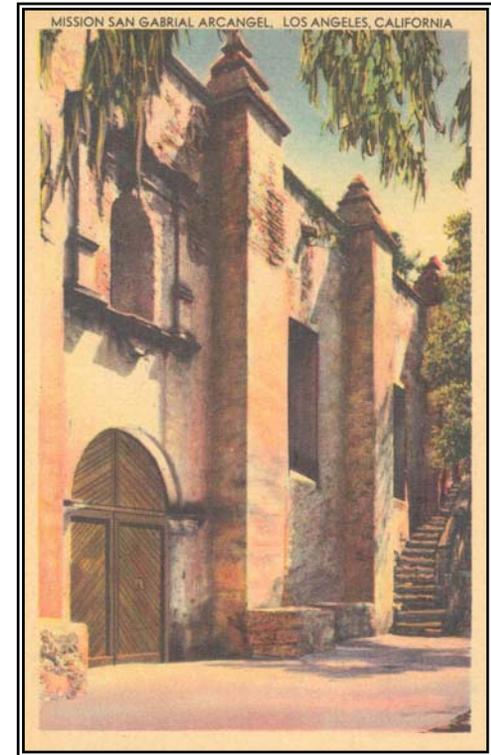
**Survey:** historic resource surveys conducted in accordance with Certified Local Government Program and state standards and procedures.



## The Mission Tradition

Winston Churchill once said, “We design our buildings, and afterwards our buildings design us.” The manmade environments that we create tend to mold our behaviors over time. Will we walk along a street, interacting with shopkeepers and other pedestrians, or will we drive along the boulevard glancing quickly at billboards? Will we choose to make our purchases from local shopkeepers or will we drive across town for greater selections? Will we view our hometown as a unique place worthy of our attention or will we see it as just another anonymous space within the metropolis? The answers to these questions will be influenced by the design elements implemented within our town boundaries. Recognizing the importance of design in affecting our behaviors, each city must determine its goals then design its various districts to encourage the desired behaviors of its residents and visitors. The input for the desired behaviors must come from the residents, who carry an ideal of the place they want as their hometown and convenience center.

With this in mind, the City of San Gabriel held various public meetings at which residents expressed their interests in encouraging a village atmosphere that allowed for services to be met within walking distances of their residences or from one-stop parking. They also wanted to maintain the character of the Mission District through the preservation of historical structures. The City of San Gabriel gathered input from residents and design professionals in order to set the following design objectives: to stimulate economic activity and to create a more pedestrian-friendly environment. In addition, design guidelines that encourage the restoration and rehabilitation of the city’s buildings and storefronts are key elements contributing to the distinct character of the Mission District.



### **OBJECTIVES**

These objectives are intended to serve as a guide for the conservation, adaptive use, and enhancement of buildings and streetscapes when further developing the Mission District:

- Establish a clearly defined sense of arrival through the incorporation of appropriate signage, entry features, landscape, and hardscape.
- Create a functional and intuitive way-finding system that reinforces streetscape, parking, and circulation improvements.
- Create a cohesive pedestrian circulation concept that enhances inter- and intra-parcel circulation.
- Reinforce the relationship between public and private improvements through incorporation of public artwork.

### **OPPORTUNITIES AND CONSTRAINTS**

The City of San Gabriel has the above objectives in mind for the Mission District. The next step, however, is a reality check to relate the goals of the program to the needs of the market and the constraints of the site. While many opportunities exist for improving and conserving the visual character and functional integrity of the Mission District neighborhood, various constraints limit some potential actions. These opportunities and constraints are summarized below and are further recorded in **Exhibit 6.1**.

An analysis of urban design opportunities and constraints was conducted through field visits involving community members in coordination with City staff. The following concepts were considered: focal points and gathering places, pedestrian utilization, parking availability, vehicular access, residential and commercial linkages, way-finding, public improvements, and streetscape enhancement.

**The primary assets of the Mission District include the following:**

- **The Proximity of Several Important Historic, Cultural, and Retail Properties:** The San Gabriel Mission, Civic Auditorium, Grapevine Park, Plaza Park, and Arcade shops draw local patronage to the area and promote neighborhood activities.
- **Underutilized Commercial Properties and Buildings:** With a dynamic mix of commercial and residential uses, specifically in the Mission District Village, people from not only the local area but from all over the Los Angeles region will visit more frequently to partake in an



entertaining, dining, and shopping experience. Others may be drawn to live in the Arroyo, Grapevine, or Villa Residential areas.

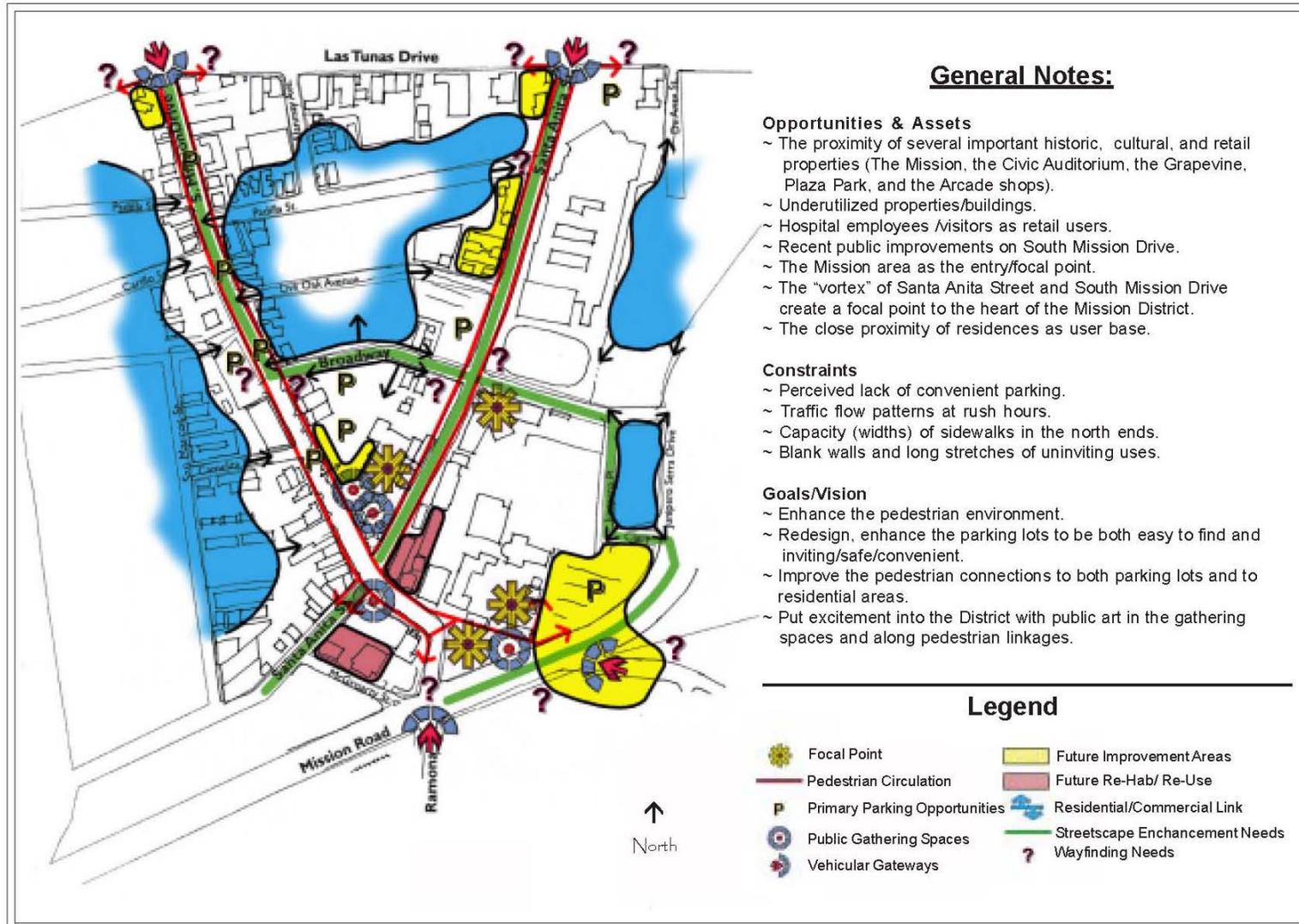
- **The Proximity of the District to the San Gabriel Valley Medical Center:** The hospital's employees are an untapped resource for pedestrian patronage to the District. Adjacent residential neighborhoods also serve as a customer base to Mission District Village. Creating inviting walkways and clear signage may direct more economic activity and patronage from those who live and work in the immediate area.
- **Recent Improvement:** The City should capitalize on recent public improvements along South Mission Drive, including new landscaping, bow-outs, and angled parking. To complement the beautification of South Mission Drive, additional amenities will make the pedestrian experience of strolling down Mission Drive more pleasant and inviting.
- **Defined Focal Points and Entryways.** South Mission Drive and Santa Anita Drive should be used as prime focal points and entryways into the District. Proper signage will direct regional tourists and local visitors, who are unaware that the District exists, to the area.

### The Mission District also has various constraints:

- **Distance from Arterial Roadways:** Being somewhat removed from major arterial roadways and having to compete with surrounding commercial centers, the Mission District Village, in general, has a confined market population from which to draw.
- **Parking Issues:** A perceived lack of convenient parking discourages many local patrons from frequenting the commercial businesses.
- **Peak Hour Traffic:** Heavy queuing and traffic flow patterns at peak hours presents a poor sense of circulation and way-finding.
- **Pedestrian Walkways:** Low-quality pedestrian sidewalks at the northern end of Mission Drive are detractions.
- **Wall Surfaces:** Solid, non-permeable wall surfaces that abut sidewalks present an uninviting pedestrian experience.



**EXHIBIT 6.1 ~ URBAN DESIGN ELEMENT**



**TAKING ACTIONS FOR IMPROVEMENT**

**6.1 Creating the Pedestrian-Friendly District**



In regards to the Mission District, one goal of the City of San Gabriel is to bring people out onto the streets. Creating the appropriate form and function in the Mission District can encourage a more robust pedestrian environment. The following improvements will encourage pedestrian movement between and through existing parcels in the project area and will be required as part of any new development in the Specific Plan Area. The type of improvements will be determined by the Community Development Department based on the project size and its location.

**A. Mission Drive and Vicinity**

1. Add paved crosswalks at Las Tunas and South Mission Drive to provide visual cues for the pedestrian.
2. Incorporate bump-outs on South Mission Drive south of Broadway.
3. Open up the wall along the east side of Mission Drive at the Civic Auditorium at several locations to allow for improved pedestrian access into and out of the parking facility. This will also create visual corridors to reduce the real and perceived barriers along the existing wall.
4. Enhance the narrow passage between buildings on the west side of the South Mission Drive, south of Carmelita Drive, to create a dual use of comfortable pedestrian walking space and vehicular access. Incorporate special paving and bollards.
5. Enhance the Arcade shop areas with additional seating, benches, and planter pots.

**B. Civic Center Area**

1. Enhance the rear area of the Arcade shops with pedestrian amenities, such as special decorative paving, seating, lighting bollards, and landscaping.
2. Consider consolidating the separate lots north of the Civic Center parking lot to create a larger usable space.

**C. Mission Area**

1. Create a pedestrian focal point in the Mission.
2. Redesign the existing public space to allow for greater connectivity between the Mission's parking lot and the Plaza Park.



3. Further develop and define the area with special paving, landscaping, and focal point amenities.
4. Provide internal pedestrian linkages between all uses in the area bounded by Broadway, Santa Anita, Junipero Serra, and Mission Road.

**D. Civic Auditorium Area**

1. Provide several pedestrian paseos and linkages in and out of the central parking area.
2. Enhance the large plaza area in front of the Civic Auditorium with the incorporation of additional benches and seating areas.
3. Open adjacent linkages to the on-site parking facilities.

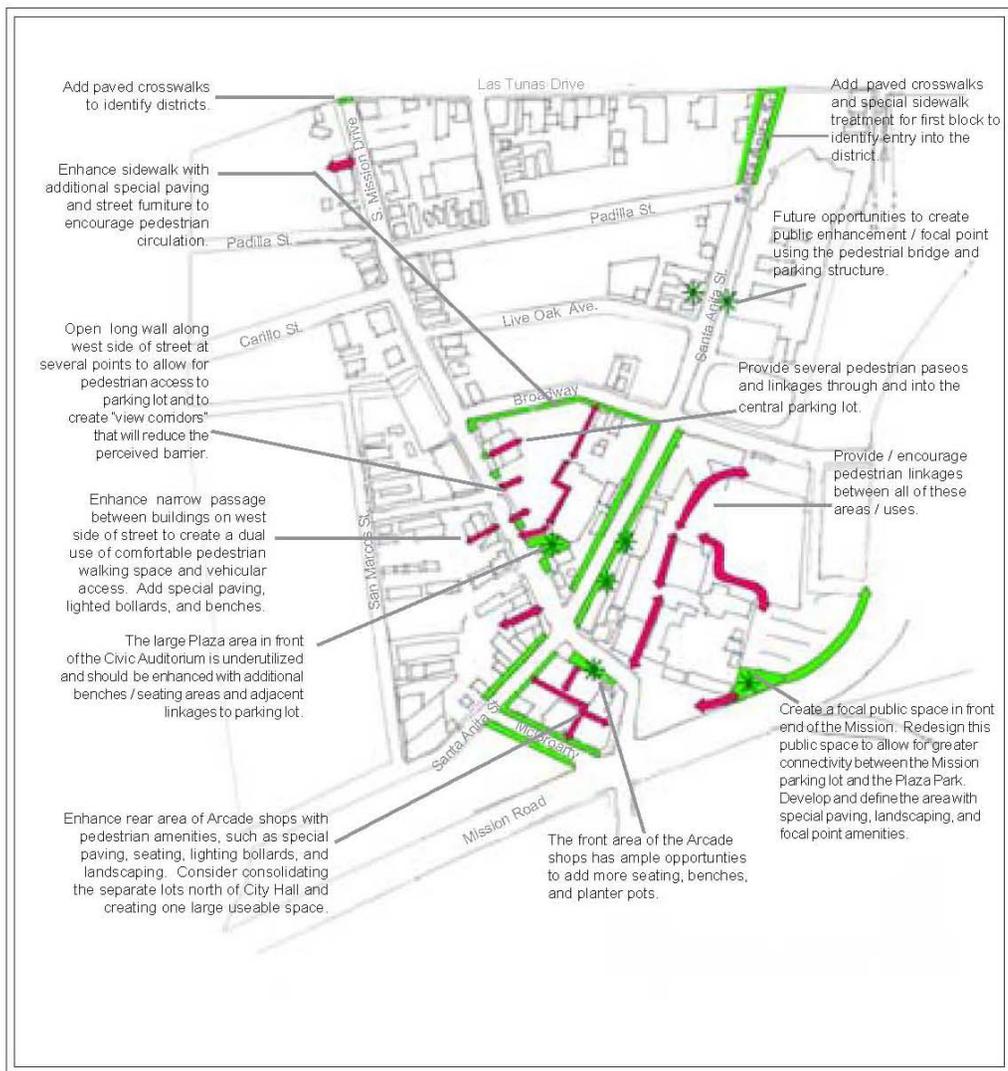
**E. Santa Anita Street**

1. Improve pedestrian amenities along Santa Anita Street, between South Mission Drive and Broadway.
2. Replace and set back the wall along the west side of Santa Anita Street with an open fence.
3. Create a focal point through the utilization of the future pedestrian bridge north of Live Oak Avenue.
4. Add paved crosswalks and special sidewalk treatment between Las Tunas and Padilla Street.

**Exhibits 6.2, 6.3, and 6.4** illustrate these various recommended improvements.



**EXHIBIT 6.2 ~ PEDESTRIAN RECOMMENDATIONS**



**LEGEND**

-  Opportunities to create or enhance interior pedestrian paseos and connections for better and safer circulations.
-  Supplement with more amenities and pedestrian enhancements.
-  Opportunities to create or enhance existing public space areas and plazas.

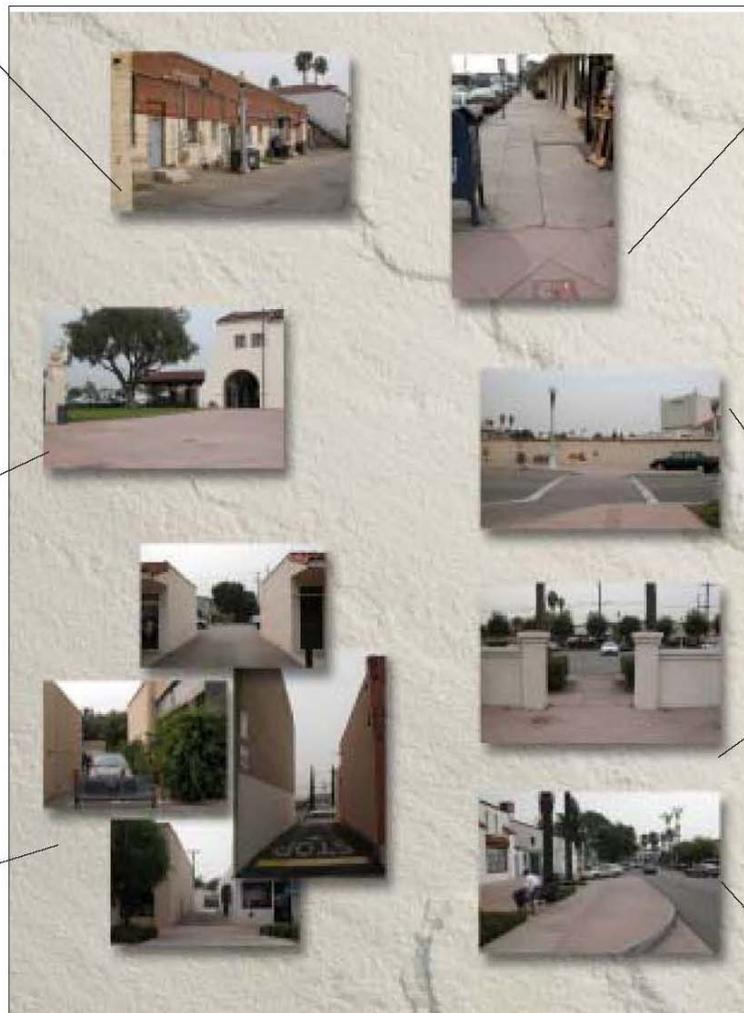


**EXHIBIT 6.3 ~ PEDESTRIAN RECOMMENDATIONS**

Create Paseos behind Arcade shops and City Hall to Santa Anita Street. Enhance the rear area of the Arcade shops with pedestrian amenities, such as landscaping. Clean up rear facades, add awnings, and improve rear entrances to shops. Consider consolidating the separate lots north of City Hall parking lot and creating one large usable space.

The large Plaza area in front of the Civic auditorium is underutilized and should be enhanced with additional benches and seating areas. Also open up barriers and create easy linkages to the parking area.

Enhance the narrow passages between buildings on the west side of South Mission Drive. Add special paving, lighting bollards, and benches. Walls can be enhanced with mural or other artistic treatments.



Santa Anita, west of South Mission, needs pedestrian enhancement to create an inviting linkage to the west side and paseos behind the Arcade shops.

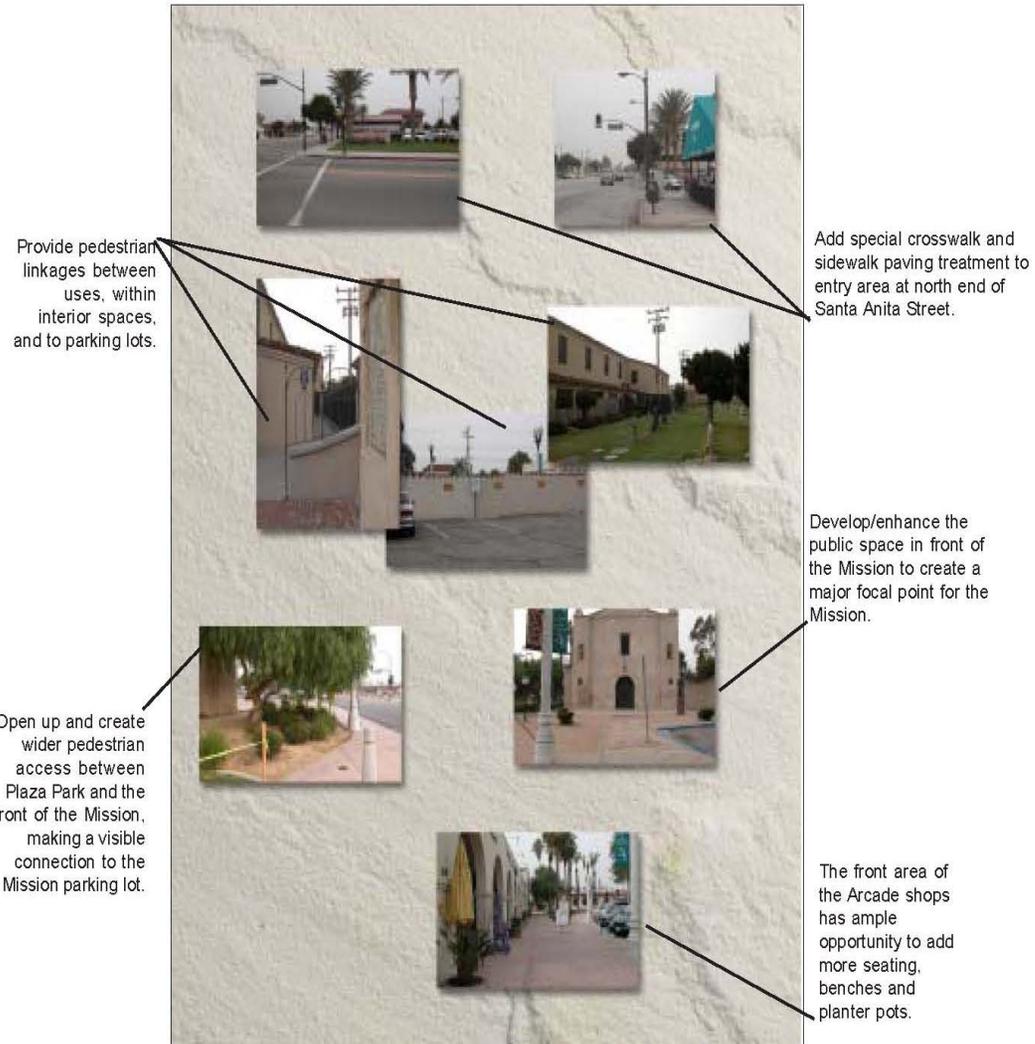
Open up long walls along street side of South Mission Drive and create view corridors and pedestrian access.

Good example of opening in wall.

Wide bumpouts need more amenities such as benches, flower pots, artwork, etc.



**EXHIBIT 6.4 ~ PEDESTRIAN RECOMMENDATIONS**



Elements of design are critical to creating the kind of environment that will draw people to the area. As architects Hall and Porterfield, write, “The successful communities of the past and present reflect not only the essence of our relationships with one another, but the organizing elements we use to create form and function.” In responding to the ideal expressed by residents and shopkeepers for a more pedestrian-friendly environment, the City of San Gabriel acknowledges, “revitalizing streets for walking, gathering, and shopping is perhaps the most direct example of how placemaking can benefit a city or town economically” (William Whyte).

The following sections identify the standards for street trees, furniture improvements, and signage. Each of these improvements will be part of the conditions of approval for any new development project. The type and number of required improvements will vary depending on the scale and location of each project. Applicants/developers may choose either to pay a fair share contribution for the improvements or to install the improvements according to the guidelines listed in this document and the City’s standards.



### **6.2 ENHANCING THE STREETScape WITH OPEN SPACE, LANDSCAPING, AND PAVING**

People often look to the horizon to enjoy the pleasant scenes created by mountains, the vast ocean, or the sunset. Within the urban environment, green spaces, shady nooks, and harmonious elements charm these same people. To satisfy the universal appeal of natural elements, trees are important elements in the downtown streetscape. The greenery and shade draw pedestrians onto the sidewalks and attract outsiders to an area that might be completely overlooked if it remained purely concrete. In addition, the appropriate placement of trees contributes to the sense of the street scene as an ‘outdoor room.’

#### **Open Space**

It is the charm of open spaces that give the original California missions and its surrounding towns, various plaques honoring the people, places and events that have shaped San Gabriel. Events like the famous 1776 Juan Bautista de Anza expedition; a plaque honoring the friendship between San Gabriel and Sister-City, Celaya, Mexico; in addition to dedications to local veterans, who served honorably and faithfully in the U.S. Armed Forces during wars, armed conflicts and peacetime are all located in Plaza Park. Today, the park is often utilized by families and students year-round and is a popular location for wedding photographs during the spring and summer seasons.



Smith Park is also located in the District and is one of five community parks in the City. In 2000 the City celebrated the park's dramatic three-acre expansion and renovation as part of a \$3 million improvement project and creative interaction with the area's history and Gabrielino-Tongva people. Winner of the prestigious 2000 California Award of Excellence from by the State of California Parks and Recreation Department, the park reflects the lifestyle of the indigenous people who inhabited the area before the establishment of the San Gabriel Mission and whose descendents live in and around San Gabriel today. This park celebrates the Gabrielino/Tonga heritage with replication of tribal symbols on park signs and floor artwork in addition to thatched roofs on stilts around picnic tables that are reminiscent of Tongva huts. The park also features a separate garden with California's native plants and materials.

The Old Grapevine Park is another open space area within the District. The park contains an 8" tall by 20' diameter grapevine whose trellised branches once covered 10,000 square feet. It was once a popular local gathering place where refreshments were served under the vine. Many local vineyards began from cuttings of this "Mother Vine". The San Gabriel Winery was among the world's largest in the late 1800's until a blight wiped out the vineyards and oranges became the main agricultural crop of the area. Today it is a popular place for weddings, parties and social gatherings.

New open space opportunities are strongly desired and encouraged in the Mission District Specific Plan area. Open space in the City is only a fraction of the recommended size published by National Park and Recreation Standards (NPRS). One potential area of open space within the district is the Alameda Corridor between Ramona Street and Mission Road. The Alameda Corridor East Project involves the lowering of the railroad tracks within the City. A neighborhood park would be a great open space addition given the limited green space in the City.

### **Landscaping**

The street tree palette considers the relationship between citywide streetscape improvement programs currently being implemented, the existing tree inventory, and the need for shade along sidewalk and public spaces. All street plantings within the District should meet the standards of the street tree palette. These include Jacaranda (*Jacaranda mimosifolia*) which is the predominant street tree along Junipero Serra, Australian Willow (*Geijera parviflora*), Date Palm (*Phoenix dactylifera*), London Plane (*Platanus X acerifolia*), and California Peppers (*Schinus molle*) which are all found along



Mission Drive. Graphic representations of these trees along with descriptions and their appropriate applications are provided in **Exhibits 6.5 and 6.6**. **Table 6.1** Street Tree Plan lists the appropriate tree and quantity by street and block.

All new construction projects that add at least 25% of the existing square footage of the building are required to submit a landscape plan to the Community Development Department. Landscaping shall be a minimum of 10% of the total net lot area. Plant materials within the Mission District should be chosen with year-round interest in mind. Bloom color and season, fall color, texture, detail, and pedestrian scale should be considered. The use of native and "California friendly" are encouraged. Perennials are an excellent source for variety and color and should be incorporated into the landscape, when appropriate. Plants that need consistent watering, but do not provide color or interest are discouraged, such as: Ivy, Mondo grass, or Boxwoods. The final plant palette shall be subject to approval by the City Landscape Architect.

Landscaping requirements for mixed use projects will be subject to a discretionary review by the Design Review Commission. As an option, an in-lieu fee may be paid by an applicant up to 1% of the construction costs which will be placed in a Mission District fund for public improvements in the specific plan area.

### **Paving**

Enhancements to all public sidewalks in the District shall include the use of decorative paving in the color of Prairie Red or similar by Admixtures Inc. Sidewalks along Mission Drive, Santa Anita Avenue, and Junipero Serra Drive already show this pavement material. Other decorative paving may also be used on private walkways and public sidewalks to emphasize pedestrian pathways and provide further enhancements.



**TABLE 6.1 ~ MISSION DISTRICT STREET TREE PLAN**

STREET	LOCATION		STREET TREE	PARKWAY WIDTH			NOTES
	STREETS	DIRECTION		TOTAL	SIDEWALK	GRASS	
Alanmay Ave.	Las Tunas Dr. to Padilla St.	West	Chitalpa	7.5	5	2.5	
		East	Chitalpa	7.5	5	2.5	
Anderson Way	Mission Dr. to Orange St.	West	Camphor	No improvements			
		East	Camphor	9.5	4.5	5	
Arroyo Dr.	Padilla St. to Santa Anita Ave.	West	Australian Willow	9	5	4.5	Size varies
		East	Australian Willow	7.5	5	2.5	Size varies; Power lines
Broadway	Mission Dr. to Santa Anita Ave.	North	California Pepper	9.5	5	4.5	Require additional dedication
		South	California Pepper	9.5	5	4.5	Require additional dedication
Broadway	Santa Anita Ave. to Junipero Serra Dr.	North	Australian Willow	9.5	5	4.5	
		South	Australian Willow	9.5	9.5		
Broadway	Junipero Serra Dr. to San Marino Ave.	South	Crape Myrtle	9.5	5	4.5	Crape Myrtles existing
		North	See Tree Master Plan	Not in Mission District			
Carrillo Dr.	Arroyo Dr. to Mission Dr.	North	Jacaranda	5	5		5' maintenance easement required on all new development
		South	Jacaranda	5	5		5' maintenance easement required on all new development
Clary Ave.	Junipero Serra Dr. to San Marino Ave.	North	Magnolia	10	5	5	Magnolia existing
		South	See Tree Master Plan	Not in Mission District			
DeAnza St.	South of Las Tunas Dr.	West	Chitalpa	7.5	7.5		Power poles
		East	Chitalpa	7.5	5	2.5	
Junipero Pl.	Broadway to Clary Ave.	West	Chitalpa	No Improvements			
		East	Chitalpa	5	5		5' maintenance easement required on all new development
Junipero Serra Dr.	Las Tunas Dr. to Broadway	West	Jacaranda	17.5	5	12.5	
		East	Jacaranda	Not in Mission District			
Junipero Serra Dr.	Broadway to Clary Ave.	West	Jacaranda	12.5	5	7.5	Jacaranda
		East	Jacaranda	12.5	5	7.5	
Junipero Serra Dr.	Clary Ave. to Mission Rd.	West/North	Alternate Jacaranda and	12	7	5	Jacaranda &



## Mission District Specific Plan ~ Urban Design

STREET	LOCATION		STREET TREE	PARKWAY WIDTH			NOTES
	STREETS	DIRECTION		TOTAL	SIDEWALK	GRASS	
			California Pepper				California Pepper
		East/South	Alternate Jacaranda and California Pepper	4.5	4.5		Jacaranda behind sidewalk; Require 5' maintenance easement
Las Tunas Dr.	City Boundary to Mission Dr.	South	Jacaranda	9	9		
		North	Jacaranda	Not in Mission District			
Las Tunas Dr.	Mission Dr. to Alanmay	South	Chinese Pistache	9	9		
		North	Chinese Pistache	Not in Mission District			
Las Tunas Dr.	Alanmay to Santa Anita Ave.	South	Chinese Pistache	9.5	9.5		
		North	Chinese Pistache	Not in Mission District			
Las Tunas Dr.	Santa Anita to DeAnza	South	Chinese Pistache	9.5	9.5		
		North	Chinese Pistache	Not in Mission District			
Las Tunas Dr.	DeAnza to Junipero Serra	South	Chinese Pistache	9.5	9.5		
		North	Chinese Pistache	Not in Mission District			
Live Oak St.	Mission Dr. to San Anita Ave.	North	Australian Willow	9	5	4	
		South	Australian Willow	9	5	4	
McGroarty	Mission Rd. to Santa Anita Ave.	North	Chitalpa	7.5	7.5		
		South	Chitalpa	5.5	3.5	2	
Mission Drive	Las Tunas Dr. to Mission Rd.	West	Date Palm <i>(for accents at entry points)</i> Jacaranda, Australian Willow , or California Pepper	Varies	Varies	Varies	
		East	Date Palm <i>(for accents at entry points)</i> Jacaranda, Australian Willow , or California Pepper	Varies	Varies	Varies	
Mission Rd.	City Boundary to Ramona St.	North	Jacaranda	10	10		
		South	N/A	Not in City			
Mission Rd.	Ramona St. to M.D. Boundary	North/West	California Pepper	5	5		Require 5' maintenance easement or additional dedication
		South/East	California Pepper	5	5		Require 5' maintenance easement or additional dedication
Monson Ln.		West/South	Chitalpa	3	3	0	Require 5' maintenance easement or additional dedication
		East/North	Chitalpa	3	3	0	Require 5' maintenance easement or



## Mission District Specific Plan ~ Urban Design

STREET	LOCATION		STREET TREE	PARKWAY WIDTH			NOTES
	STREETS	DIRECTION		TOTAL	SIDEWALK	GRASS	
Montecito Dr.	Main St. to Grand Ave.	West	Holly Oak	9.5	5	4.5	additional dedication
		East	Holly Oak	9.5	5	4.5	
Orange St.	Montecito Dr. to Monson Ln.	North	Holly Oak	9.5	5	4.5	
		South	Holly Oak	Not in Mission District			
Padilla St.	Arroyo Dr. to Mission Dr. to	North	Jacaranda	5.5	5.5		Require 5' maintenance easement or additional dedication
		South	Jacarana	16	5	11	
Padilla St.	Mission Dr. to Santa Anita Ave.	North	Crape Myrtles	7.5	5	2.5	Crape Myrtles existing
		South	Crape Myrtles	7.5	5	2.5	Crape Myrtles existing
Ramona	Mission Rd. to Grand Ave.	West	N/A	Not in Mission District			
		East	Holly Oak	9.5	5	4.5	
San Marcos St.	Santa Anita Ave. to Mays Alley	West	Chitalpa	5	5		Power lines; Require 5' maintenance easement or additional dedication
		East	Chitalpa	5	5		Require 5' maintenance easement or additional dedication
Santa Anita Ave.	Mission Rd. to Arroyo Dr.	West	Jacaranda	10	10		
		East	Jacaranda	10	10		
Santa Anita Ave.	Arroyo Dr. to Mission Dr.	North	Jacaranda	5	5		Power lines; Require 5' maintenance easement or additional dedication
		South	Jacaranda	5	5		Require 5' maintenance easement or additional dedication
Santa Anita Ave.	Mission Dr. to Broadway	West	Chitalpa	5	5		
		East	Chitalpa	5	5		
Santa Anita Ave.	Broadway to Live Oak St.	West	Jacaranda	5	5		
		East	Jacaranda	5	5		
Santa Anita Ave.	Live Oak St. to Padilla St.	West	Jacaranda	10	0		
		East	Jacaranda	5	0		
Santa Anita Ave.	Padilla St. to Las Tunas Dr.	West	Jacaranda	5	5		
		East	Jacaranda	5	5		



**EXHIBIT 6.5 ~ STREET TREE PALETTE**



**Chitalpa**

*Chitalpa tashkentensis*

15 - 25' height, moderate to rapid growth rate

Deciduous

Use in full sun, takes little to moderate water.



**Camphor Laurel**

*Cinnamomum camphora*

25' height, fast growth rate

Evergreen

Attractive shade tree

Use in large areas due to vigorous root system.



**Crape Myrtle**

*Lagerstroemia* spp

25 - 40' height/ crown - 15', fast growth rate

Deciduous, attractive pink, white, and purple flowers

Use in large cut-outs and tree wells in sidewalks and plazas.



**EXHIBIT 6.5 ~ STREET TREE PALETTE**



**London Plane**

Platanus X acerifolia

60' height/ 40' width with fast growth rate

Deciduous

Use in large cut-outs and tree wells in sidewalks and plazas.



**Jacaranda**

Jacaranda mimosifolia

40' height/ 50' width with moderate growth rate

Semi-deciduous

Good accent tree with bright color

Use in large cut-outs and tree wells in sidewalks and plazas.



**Australian Willow**

Geijera parviflora

30'-40' height/ 20'-25' width with moderate growth rate

Semi-deciduous

Use in large cut-outs and tree wells in sidewalks and plazas.



**EXHIBIT 6.5 ~ STREET TREE PALETTE**



**Laurel Magnolia**

*Magnolia virginiana*

10' height, 6' wide, slow growth rate

Deciduous

Use in full sun, soil should be moist.



**Pink Trumpet Tree**

*Tabebuia heterophylla*

50' height, moderate growth rate

Evergreen

Blooms throughout the year



**Chinese Pistache**

*Pistacia chinensis*

25 - 40' height, moderate to rapid growth rate

Deciduous, aromatic

Flowers and fruit can be messy.



**EXHIBIT 6.5 ~ STREET TREE PALETTE**



**Holly Oak**  
Quercus ilex  
33 - 80' height, 25' spread  
Medium growth rate  
Evergreen  
Drought-tolerant tree, stands up well in strong winds



**California Pepper**  
Schinus molle  
40' height / 40' width, fast growth rate  
Evergreen  
Use in large planter areas and public space areas where there is plenty of room.



**EXHIBIT 6.6 ~ ACCENT TREES**



**California Pepper**

Schinus molle

40' height / 40' width with fast growth rate

evergreen

Use in large planter areas and public space areas where there is plenty of room.



**Date Palm**

Phoenix dactylifera

40'-50' height with moderate growth rate

Use in special areas as part of the existing streetscape plan.



Trees are an important element in creating the streetscape. They bring a touch of nature to the urban setting. Randall Arendt emphasizes the value of nature in town: “Greens are perhaps even more important in village centers than they are in neighborhood situations. In both cases, they provide a focal point and serve as a ‘draw,’ attracting people out of their buildings and cars to engage with others in the civic life of the community.” To encourage the desired pedestrian-friendly Mission District, the placement of street trees is important, while following the required street tree palette unifies the city.

**Tree Planting Guidelines and Maintenance:** Trees along with private property landscaping shall be installed with appropriate irrigation, including the use of bubblers per the Street Tree Master Plan. Higher water using plants may be chosen for smaller planting areas or containers used as focal points or highly visible accents. Plant material should be chosen with their ultimate size in mind so that plants do not outgrow their space and need excessive maintenance. Shrubs should not be hedged or cut into geometric shapes, but rather be allowed to grow in a more natural appearance.

Trees should be pruned on a regular basis, depending on the type of tree. All pruning should be completed in accordance with International Society of Arboriculture (ISA) standards under the supervision of an ISA certified Arborist. Under no circumstances should trees be "topped".



### **6.3 STREETSCAPE FURNITURE**

Not to be overlooked in creating a pleasing streetscape is the furniture, which includes trash receptacles, light fixtures, benches, paving treatments, bus shelters, newspaper racks, and planters. These elements provide functional purposes, so the placement of the street furniture should coincide with pedestrian activity. In addition, selecting street furniture that reflects uniform colors and styles contributes to the definition of the district. The City of San Gabriel has an existing streetscape furniture palette for the project area. The following streetscape furniture palette provides additional features for enhancing and reinforcing the already existing streetscape palette. **Exhibit 6.7: Supplemental Streetscape Furniture** provides a graphic representation of the required streetscape palette.



1. **Trash Receptacles:** The Bowery Trash Receptacle by Canterbury International is the trash receptacle to be used for all applications in the Specific Plan project area.
2. **Benches:** Existing benches in the project area are Bowery Benches by Canterbury International. The supplementary benches for all public spaces include a modified Bowery Bench using vinyl coating and painted dark green in color to reduce radiant heat. Additionally, garden-style wood benches (teak or ipé) by Victor Stanley, Inc. shall be used in smaller and more intimate areas on private property.
3. **Lighted Bollards:** Lighted bollards in the project area shall be used for pedestrian paseos and intimate gathering spaces. The Pennsylvania Avenue lighted bollards by Canterbury International are recommended.
4. **Planter Pots:** Planter pots add additional color and comfort to pedestrian areas. A variety of planter pot sizes manufactured by Quick Crete, Inc. should be used in various locations throughout the project area, in direct vicinity to other streetscape furniture.
5. **Pavers:** The utilization of small, varied paver patterns shall be implemented at paseo locations and outlying linkages to provide enhancement and visual cues for pedestrians in the project area.
6. **Light Poles:** Street lights to be used shall be Aegean Model No. 21CT13 manufactured by Ameron Products. The street light pole is approximately 15 feet tall and the light fixture atop the pole is the Victorian Luminaire Model No. 1901-21.

**6.3.1 Implementation of Street Trees, Streetscape Furniture, and Street Lights:** All new construction projects that add at least 25% of the existing square footage of the building are required to provide new public improvements. As part of the application process, a site and landscaping plan shall be submitted to the Community Development Department for review and approval. The plan shall be to scale with a minimum of 1"=20' and shall identify the proposed location(s) and type of street tree(s), streetscape furniture, and street lights. Installation of public improvements shall be the responsibility of the applicant with supervision and maintenance by the City Public Works Division. Projects where there is less than a 25% addition of building square footage are exempt from this requirement.



**6.3.2 Lighting Regulations in Private Parking Lots**

Commercial projects that include new or repaved parking lots shall be subject to the following requirements:

- (1) The address number of every commercial building shall be illuminated during the hours of darkness so that it shall be easily visible from the street. The numerals in these address numbers shall be no less than six inches in height and be of a color contrasting to the background. If the building is more than one story in height, address numbers should be no less than ten inches in height, contrasting to the background. In addition, any business that affords vehicular access to the rear through any driveway, alleyways, or parking lot shall also display the same numbers on the rear of the building.
- (2) All exterior commercial doors, during the hours of darkness, shall be illuminated with a minimum of one foot-candle of light. All exterior bulbs shall be protected by weather and vandalism resistant cover(s).
- (3) Applicants shall provide a spread study to ensure that open parking lots and access thereto, for use by the general public, are maintained with a minimum of one foot candle of light on the parking surface from dusk until one hour after the termination of the business day. Light poles and fixtures shall not be more than 15 feet in height.
- (4) All required lighting shall be designed to turn on and off automatically. Luminaries shall be directed or shielded so as not to be directly visible from any dwelling unit or to cause off-site glare or nuisance.



**EXHIBIT 6.7 ~ SUPPLEMENTAL STREETScape FURNITURE**



Supplement the open space on existing improved sidewalks with more of the new street furniture. In addition to the benches and trash receptacles, add more flower pots for added color as well as to break up the long expanses of blank walls.






**Existing Bench**

(Modified Bowery Bench by Canterbury International) Recommend using vinyl coating and a lighter color (dark green) on additional street furniture.



**Existing Trash Receptacle**

(Bowery Trash Receptacle by Canterbury International)

Varied small paver patterns can be utilized on the paseos and outlying linkages to enhance and connect the pedestrian circulation pattern.



Planter pots to add color and comfort to pedestrian areas.  
  
(Various sizes by QuickCrete)



Lighted bollards for pedestrian paseos and intimate gathering spaces.  
  
(Pennsylvania Avenue lighted bollard by Canterbury International)



Garden benches placed in smaller and intimate public spaces.  
  
Garden style wood (teak or ipe) by Victor Stanley, Inc.

Building on a Proud Past

6~24



#### **6.4 WAYFINDING CONCEPTS**

Wayfinding provides a means to enhance and complement access, circulation, and permeability within the Mission District. Wayfinding provides visual cues for vehicle and pedestrian traffic and contributes to strengthening the relationships between land uses and circulation. Existing wayfinding conditions in the project area contribute to less desirable circulation and parking conditions. These are the most prominent observations:

- 1. Difficulty in identifying parking locations:** Patrons, business owners, and visitors have indicated a real and/or perceived difficulty in identifying available parking locations. The inability to readily identify existing parking locations is also perceived as a factor that contributes to negative economic impacts in the business District.
- 2. Absence of unified sign design:** A hierarchy of wayfinding signs is not currently present within the Mission District. Although a variety of street signs are present, the present lack of identifiable and uniform signage deters business and activities in the area, especially from those driving through town.
- 3. Absence of pedestrian-scaled directional signs/kiosks:** A primary focus of the Specific Plan is to establish a cohesive, pedestrian-friendly environment. Limited pedestrian directional signage in the District contributes to low pedestrian utilization, particularly by local residents and the workday population.
- 4. No formal entry statements:** The project area currently lacks sufficient entry identification statements. The primary northern, southern, and eastern entries into the project area do not provide visual cues for arrival.

Based upon existing conditions in the project area, a Wayfinding Sign Program and Sign Family have been developed to resolve current deficiencies and to reinforce the land use, streetscape, and general urban design objectives. As illustrated in **Exhibit 6.8: Wayfinding Signs** and **Exhibit 6.9: Wayfinding Sign Family**, the following wayfinding improvements are required for the Mission District Specific Plan.



**A. South Mission Drive Wayfinding Improvements**

1. Utilize existing internally illuminated signal arm street name signs to provide “Mission District” directional signs.
2. Install large vehicular-oriented directional sign on southbound South Mission Drive, north of Broadway.
3. Install a parking directional sign at the Park and Ride facility at South Mission Drive and Broadway.
4. Install pedestrian-oriented directional sign/kiosk adjacent to the existing Park and Ride facility at South Mission Drive and Broadway.
5. Install large vehicular-oriented directional signage for northbound South Mission Drive at Broadway.
6. Install parking directional sign for northbound vehicular traffic at Civic Auditorium parking lot adjacent to South Mission Drive.
7. Install pole signs at intersection of South Mission Drive and Santa Anita Street.
8. Install pedestrian-oriented directional sign/kiosk adjacent to City Hall complex.

**B. Broadway Wayfinding Improvements**

1. Install parking directional signs for the Civic Auditorium parking facilities accessible from Broadway.
2. Install large vehicular-oriented directional signs for westbound traffic at Junipero Serra Drive.

**C. Santa Anita Street Wayfinding Improvements**

1. Install parking directional signs for parking facilities located west of South Mission Drive.
2. Install directional pole signs to historically significant destinations along Santa Anita Drive, between South Mission Drive and Broadway.
3. Install large vehicular-oriented directional sign at southbound Santa Anita Drive at Broadway.
4. Install parking directional signage for parking at northwest corner of Broadway and Santa Anita Street.
5. Install large pedestrian-oriented directional sign/info board adjacent to proposed pedestrian over crossing.



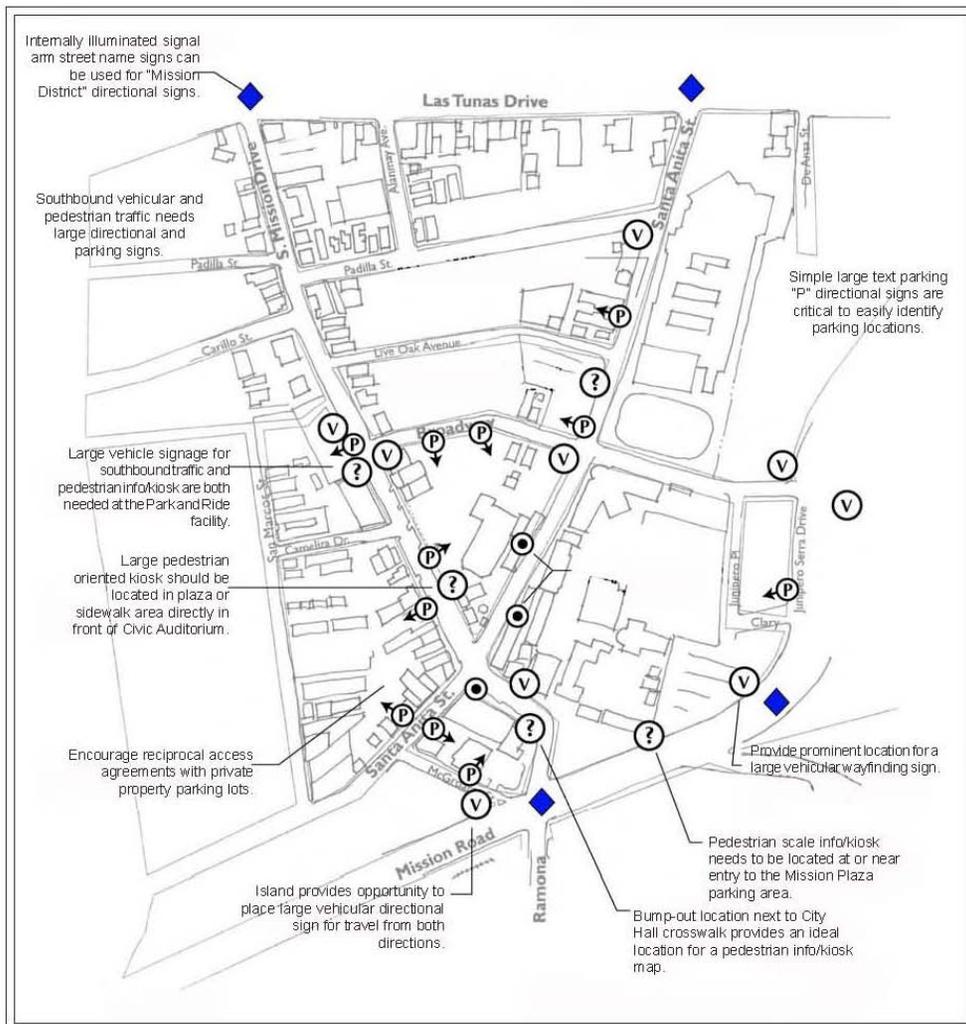
6. Install large vehicular-oriented directional signs for southbound traffic at Padilla Street.

**D. Mission Road/Junipero Serra Drive Wayfinding Improvements**

1. Install large vehicular-oriented directional sign at Mission Road and McGroarty Street.
2. Install pedestrian-oriented directional sign/info board adjacent to the Mission/Plaza parking area.
3. Install large vehicular-oriented directional sign at Mission Road/Junipero Serra Drive.



**EXHIBIT 6.8 ~ RECOMMENDATIONS FOR WAYFINDING SIGNS**

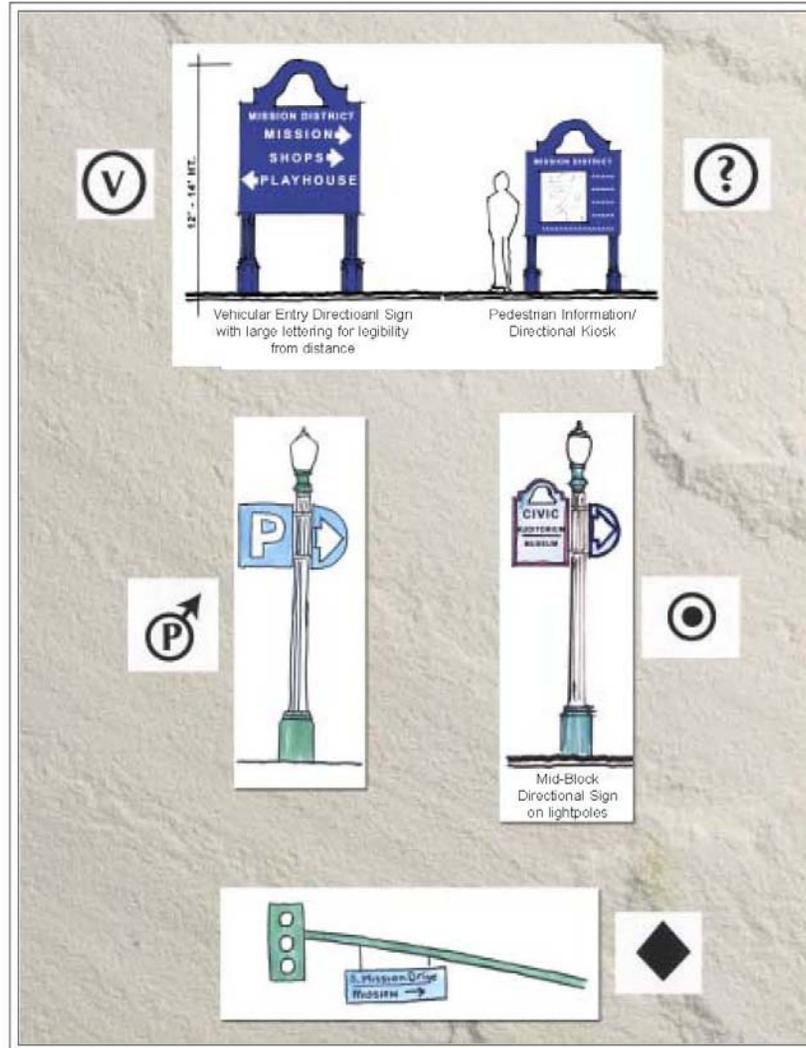


**Legend**

-  Large vehicular oriented directional sign
-  Signal arm directional sign
-  Parking directional sign
-  Large pedestrian oriented directional sign/info board
-  Pole sign for destination direction



**EXHIBIT 6.9 ~ WAYFINDING SIGNS**



### 6.5 PUBLIC ART CONCEPTS

Public art enhances public spaces. Artwork can provide a means to enhance the Mission District area, create a sense of place, and provide a canvas for local artisans. Artwork should be included in the development of outdoor and indoor spaces accessible to the public. District gateways, paseos, plazas, parks, and other shared spaces within the Mission District provide unique sites in which to incorporate public art.

Public artwork also provides indirect economic benefits. When pedestrians in the Mission District encounter art along a path, they will be inclined to walk more slowly and to pay more attention to their environment. Their slower paces will allow them to view window merchandise and displays, perhaps encouraging pedestrians to enter the business establishments. This behavior is strongly welcomed by business owners within the Mission District.



**6.5.1 Public Art Opportunities:** Based upon site visits and discussions with City staff and San Gabriel residents, a number of public art opportunities were identified. In choosing locations to display public art, decision makers must consider the relationships to the public right-of-way in order to ensure that the potential artwork is accessible to the public, is located in such a manner as to complement existing development, and is situated appropriately to enhance the pedestrian environment. As shown in **Exhibit 6.10: Public Art Opportunities Plan** and **Exhibit 6.11: Public Art Opportunities**, public art opportunities can influence the on-site circulation network and can enhance existing public spaces. The following is a summary of opportunities for placing public art:

#### A. South Mission Drive

1. Mission 261: provides an opportunity to utilize its façade and planter area for public art elements.
2. Pizza Place: the north end of this restaurant provides a space for a large piece of artwork (sculpture or water).



3. The Plaza in front of the Civic Auditorium: add terra cotta tiles to the existing place-holders as well as 3-dimensional artwork within the Plaza area.
4. The Grapevine: the small plaza in front of the “Grapevine” corner is an ideal location for a small vertical public art element, possibly a fountain.
5. Arcade Shops: numerous opportunities exist to place public art along the wide sidewalk parkway in front of these shops.
6. City Hall: an entry arch might be constructed on South Mission Drive, adjacent to City Hall.
7. Convent: numerous opportunities exist along the front of the Convent for placement of public art, especially sculptures.

**B. Santa Anita Street**

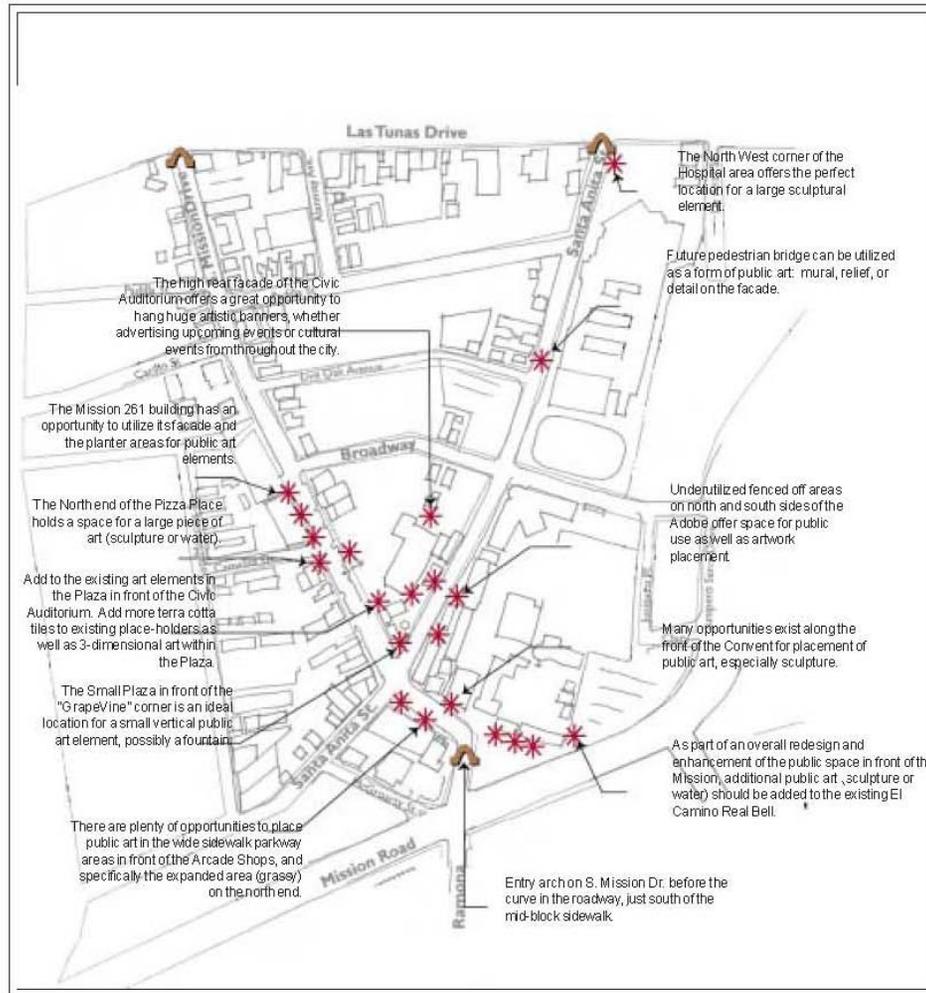
1. Street Corner: the northwest corner of the Las Tunas/Santa Anita Street area offers a strong opportunity for a large sculptural element.
2. Pedestrian Bridge: the façade of the future pedestrian bridge can be utilized for a public mural, mural relief, or artistic detail.
3. The Adobe: the underutilized areas on the north and south sides of the Adobe offer space for the incorporation of artwork.

**C. Mission Area**

1. The Mission: as part of an overall redesign and enhancement of the public space in front of the Mission, additional public art (sculpture or water) should be added to the existing El Camino Real Bell.
2. Plaza Park: numerous opportunities for artwork are available in the Plaza Park area, adjacent to the Mission.



**EXHIBIT 6.10 ~ PUBLIC ART OPPORTUNITIES**

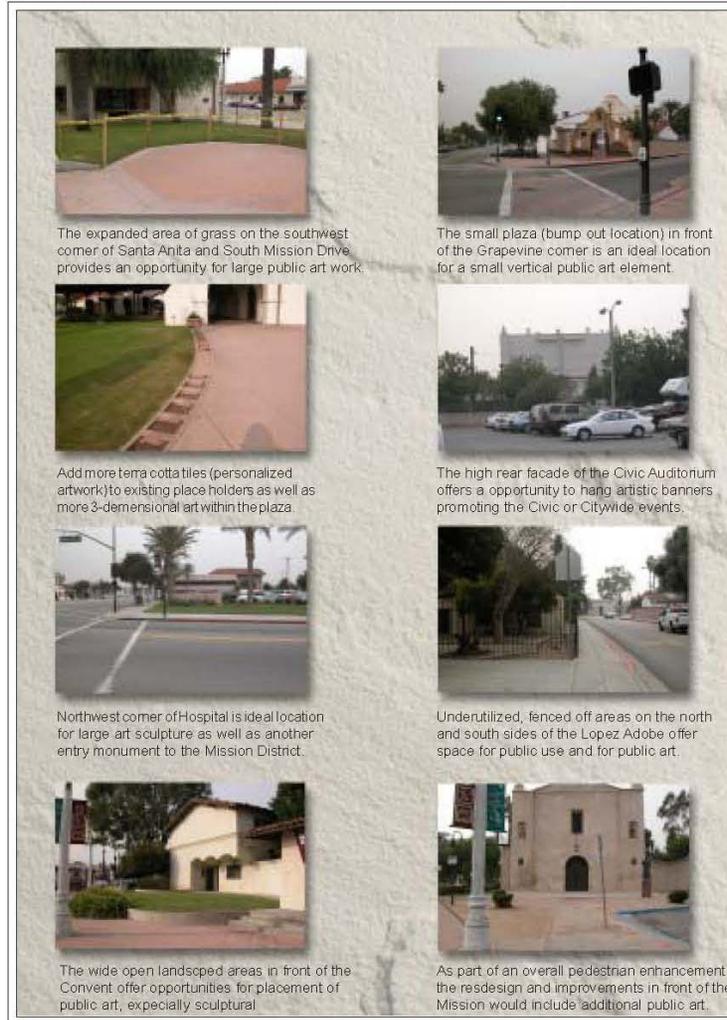


**LEGEND**

-  Gateway arch or monument
-  Public art location opportunities
-  North



**EXHIBIT 6.11 ~ PUBLIC ART OPPORTUNITIES**



The expanded area of grass on the southwest corner of Santa Anita and South Mission Drive provides an opportunity for large public art work.

The small plaza (bump out location) in front of the Grapevine corner is an ideal location for a small vertical public art element.

Add more terra cotta tiles (personalized artwork) to existing place holders as well as more 3-dimensional art within the plaza.

The high rear facade of the Civic Auditorium offers a opportunity to hang artistic banners promoting the Civic or Citywide events.

Northwest corner of Hospital is ideal location for large art sculpture as well as another entry monument to the Mission District.

Underutilized, fenced off areas on the north and south sides of the Lopez Adobe offer space for public use and for public art.

The wide open landscped areas in front of the Convent offer opportunities for placement of public art, especially sculptural.

As part of an overall pedestrian enhancement the redesign and improvements in front of the Mission would include additional public art.



**6.5.2 Artwork Requirements and Implementation Process**

A. **Requirements.** All commercial and mixed-use projects over 25,000 square feet of gross floor area by for-profit as well as non-profit developers shall incorporate in their design a public art component. All city construction projects shall also incorporate in their design a public art component. For purposes of this section, "public art" shall mean creation of an original work or service of an artist for a publicly accessible space which could be, but is not limited to:

1. Original three-dimensional artwork of all kinds;
2. Original two-dimensional artwork of any kind, including applied murals or portable paintings, photography, etc;
3. Environmental artworks;
4. Any combination of media art; and
5. Fixtures such as gates, streetlights, signage, public benches, paving, walkways, bus shelters, may be contracted to artists for unique or limited edition.

The minimum standard of performance used to measure compliance with this section shall be that the public art component shall have a value not less than 1 percent (1%) of the building permit valuation. All applicants are encouraged but not required to employ an art consultant.

**B. Implementation Process**

1. The Design Review Commission shall be responsible for evaluating public artwork proposals. All proposals shall include a Concept Art Plan and list of artist(s), slides of artist work, sketches, drawings, a written narrative of the public art concept, and a maintenance program. Of the minimum 1% of building permit valuation, no more than 5% may be used as compensation to the artist for the conceptual design. The applicant may supplement this compensation but such additional compensation may not be credited against the 1% minimum.
2. The following criteria will be used in determining project eligibility when evaluating the installation of artwork within the Mission District Specific Plan area:
  - a. Artistic Quality (vision, originality and craftsmanship);
  - b. Context (architectural, historical, geographical and socio-cultural context of the site)
  - c. Quality and permanency of materials (if ephemeral material: is appropriate documentation included?);
  - d. Maintenance;
  - e. Safety;



- f. Diversity of artists (gender, race, culture) representation in the existing collection of publicly-accessible artworks; and
- g. Diversity of artworks (media, scale, style, intention) in the existing collection of publicly accessible artworks.

The Concept Art Plan must relate to the overall development concept. The work of each proposed artist must bear a discernable relationship to the proposed concept.

- 3. Following approval of the Concept Art Plan, the artist/team will refine the project objectives and conceptualized art project. The art consultant will return to the Design Review Commission with a Final Art Plan (including final narrative, budget, anticipated maintenance plan, and installation calendar) and a two-or-three-dimensional Marquette, with samples and dimensions. This budget must detail art consultant fees, artist fees, fabrication, and installation expenses. Any additional monies such as additional construction funds must be detailed as well. Submission of the proposed Final Art Plan for the Design Review Commission approval must take place within 45 days of approval of Final Design for the project. If not submitted within 45 days, all permits may be denied or cancelled. Any changes to the approved Final Art Plan and budget must be submitted to the Design Review Commission for approval.
- 4. The following items are not considered artworks in regards to the program:
  - a. Objects which are mass-produced from a standard design such as playground equipment, flags, banners or fountains;
  - b. Reproductions, by mechanical or other means, of original art works;
  - c. Decorative, ornamental or functional elements which are designed by the building architect (not an element commissioned for the purpose of creating a unique work by an artist);
  - d. Historic, architectural or art restoration/preservation efforts of building facades, architectural details or existing artworks.
- 5. Criteria for Eligible Artists. The intent of this program is that the most appropriate use of public art monies is to commission the highest quality artwork possible and consequently there is no overall policy about residency requirements for artists. It is hoped that as the program matures, the collection of public art in the Mission District will include works by artists of local, regional, national and international repute, and inclusive of artists at varying points in their careers. Developers are strongly encouraged to consider San Gabriel Valley artists.



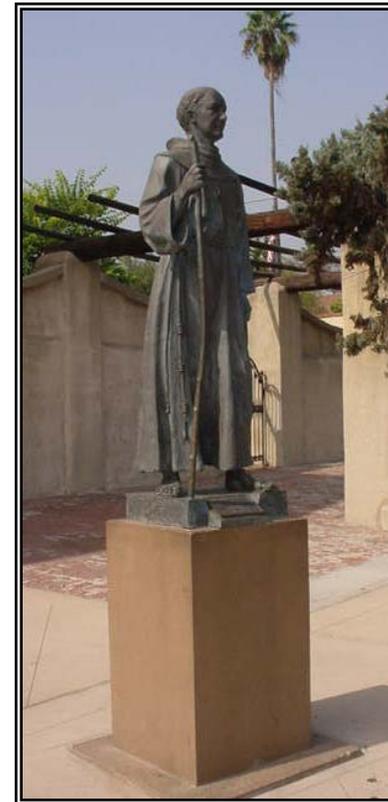
- a. Visual artists. Artists working in the public realm with demonstrated past experience or proven technical and esthetic ability to successfully create artwork responsive to the site and community best support the mission of this program. Proposed artists will be reviewed based on a proposed art concept, but also on education, gallery affiliation and previous work.
  - b. Not eligible to be selected for commissions are members of the design team or their immediate families including the project architects or consulting architectural firms, members of the selection team, members of the City of San Gabriel Design Review Commission or their immediate families or City staff.
6. Artwork Ownership and Maintenance. When the art is situated at or on property or facilities owned by the City, the developer will retain ownership of the artwork and assume continued maintenance of artwork. Maintenance stipulations will be recorded under covenants affecting real property. In the event that the developer chooses to place the artwork at a site he does not own, the developer will negotiate ownership and maintenance directly with the recipient. The City shall be notified of all legal agreements prior to submission of the Final Art Plan to the Design Review Commission for approval.
- a. In the event the developer of the property wishes to remove the on-site artwork, the City must be notified in writing prior to its removal. The developer will be required to replace the artwork with an artwork of equal or greater value. The replacement artwork will be subject to the same art selection process as the original artwork. The developer will be encouraged to notify the creator of the artwork prior to removal according to the guidelines of the California Preservation of Works of Art Act and the Federal Visual Artists Rights Act (VARA).
  - b. Should the property be destroyed on which the artwork is situated, the artist will be given first refusal to buy the piece pursuant to the requirements of the California Preservation of Works of Art Act and the Visual Artist Rights Act (VARA).
7. If the developer cannot identify an opportunity beneficial to the site and community, the developer may submit a letter to the Design Review Commission, which identifies the process the developer utilized to determine that the community is best served by requesting the full 1% be placed in the Public Art Trust Fund.



- C. No building occupancy for a project as defined in subsection A of this section shall be issued until there has been a written determination made by the Community Development Department that there has been compliance with the Design Review Commission's requirements and this section.
- D. This section shall not apply to projects for which a building permit was issued prior to the effective date of the Specific Plan adoption. A building permit for additions to the same project, which is issued after the effective date of this Specific Plan that enacts this chapter, shall be subject to this chapter.

Evaluating artwork using the above criteria will ensure that the artwork compliments and/or stimulates the Mission District's economic, physical, and functional environment. Any decision may be appealed to the City Council within the time and manner specified by *Municipal Code* § 153.004. The City Council may approve, deny or modify, in whole or in part, the action of the Design Review Commission.

**6.5.3 Art Funding Opportunities:** Alternative funding sources for the incorporation of artwork in the Mission District project area can play an important role in realizing public art opportunities when financial resources may be a limiting factor. Alternative funding sources are dependent upon the encumbering of state, federal, and private funds and, therefore, vary over time. To supplement the public art fee paid by developers, City staff will research and/or apply for funds in order to obtain the appropriate resources to implement public art in the Mission District. In consideration of the dynamic nature of funding sources, **Table 6.2** provides a summary of reliable sources of funds that may contribute to the Public Art Trust Fund. This Fund is a permanent fund that supports public art within the Mission District. The foundations and programs listed in the table are not inclusive and other funding sources may be considered. Any time a donation is awarded to the City for this purpose the City Council will adopt by Resolution acceptance of the monetary gift.



**TABLE 6.2 ~ FUNDING OPPORTUNITIES**

FUNDING SOURCE	DESCRIPTION	CONTACT
America the Beautiful Fund	Assists and encourages realistic grassroots efforts to improve community life, rescue and revive American cultural and historical sites and traditions, and develop community self-reliance	America the Beautiful Fund 1511 K Street, N.W., Suite 611 Washington, D.C. 20005
National Heritage Area Act	Encourages local, state, and federal governments to develop heritage areas	National Park Service
The National Trust for Historic Preservation – Bank of America Historic Tax Credit Fund	Seeks to stimulate an interest in historic properties that qualify for federal and state historic tax credits and provides economic and community development benefits for the surrounding commercial or residential neighborhoods	The National Trust for Historic Preservation 1785 Massachusetts, N.W. Washington, D.C. 20036
The National Trust for Historic Preservation – Preservation Services Fund	Provides matching grant to nonprofit organizations, universities, and public agencies to initiate preservation projects. Funds may be used to support consultants with professional expertise in areas such as architecture, law, planning, economics, and graphic design; conferences are held that address subjects of particular importance to historic preservation.	The National Trust for Historic Preservation 1785 Massachusetts, N.W. Washington, D.C. 20036
Adopt-a-Light Program (tree, bench, etc.)	As a unique method for paying for street lighting fixtures or any other streetscape element, a small projected plaque sign could be affixed to the light pole with the name or logo of the local merchant/business/person/entity who purchased the fixtures. This program can also be applied to historic plaques, benches, trees, paving surfaces, and banners.	Coordinated through City, Chamber of Commerce, or local non-profit organization.
TEA-21 Transportation Enhancements	Formula funding to state (under the transportation enhancements section of TEX-21) for transportation-related activities designed to strengthen the cultural, aesthetic, and environmental aspects of the nation's inter-modal transportation system.	
National Endowment for the Arts – Creativity Grants	Marks and preserves artistic work and the development of professional artists. Grants are awarded under this area to create and present artistically excellent and significant works for the public and to expand the opportunities for artists to develop their careers.	National Endowment for the Arts, Nancy Hanks Center, 1100 Pennsylvania Avenue, NW, Washington, DC 20506
National Endowment for the Arts – Heritage and Preservation Grants	Keeps cultural heritage intact by recovering and preserving artistic achievements. Heritage and Preservation seeks to honor, assist, encourage, preserve, and present those forms of artistic expression and practice that reflect the many cultural traditions.	National Endowment for the Arts, Nancy Hanks Center, 1100 Pennsylvania Avenue, NW, Washington, DC 20506
National Endowment for the Arts – Federal Partnerships	Partnerships with other federal departments in pilot programs that provide competitive grants and cooperative agreements demonstrating how the arts play an integral role in improving the quality of life for your families and communities. Various opportunities are available.	National Endowment for the Arts, Nancy Hanks Center, 1100 Pennsylvania Avenue, NW, Washington, DC 20506
National Endowment for the Arts – Access Grants	Makes quality art as broadly available as possible. Access encompasses a wide variety of projects that seek to make the arts more widely available. Access projects often seek to reach those in underserved areas or those whose opportunities to participate in the arts may be limited by age, disability, language or education, geographic, ethnic, or economic constraints.	National Endowment for the Arts, Nancy Hanks Center, 1100 Pennsylvania Avenue, NW, Washington, DC 20506



## Architectural Design Standards

This chapter presents in detail those standards for new or renovated residential or commercial structures in the Mission District. As a way to maintain and preserve the aesthetic quality of existing neighborhoods and the history and culture of the area, new buildings or rehabilitated non-historic buildings shall be designed in the Spanish Colonial, Mission Revival or Spanish Colonial Revival style. Architecture of buildings shall also adhere to the basic design principles outlined in the Commercial and Residential Design Guidelines for the City. These principles include shelter, balance, integrity, detail, substance, transition, and character. Projects should also incorporate environmental design principles with respect to building layout, lighting, windows, and others details, which when applied, will provide a more secure property and enhance neighborhood safety.



By following the standards outlined in this chapter, the construction of new or remodeled buildings should complement Spanish Colonial architecture, which was introduced in the 1770's and which continued to be used in San Gabriel until the mid-nineteenth century. That period's architectural vocabulary reappeared as the Mission Revival style at the end of the nineteenth century and continued up to the 1920s, when there was a reexamination of the roots of this architectural tradition, which became known as the Spanish Colonial Revival style. The introduction of Design Guidelines in the Mission District Zoning Code resulted in the construction of the Padilla Room, which is an excellent example of a return to the sensibilities of the Spanish Colonial Revival style found in San Gabriel in the late 1920s. Simplified versions of the Spanish Colonial Revival style continued to be used in San Gabriel through the end of the twentieth century.



### **OBJECTIVES**

- Assist property owners who wish to restore or rehabilitate existing building or construct new structures in the Mission District
- Provide descriptions of the significant architectural styles used in the Mission District that includes information concerning composition, design details and materials that are unique to each period;
- Establish architectural standards;
- Establish sign standards; and
- Establish a review and approval process.

### **HISTORICAL INFLUENCES**

Spanish and Mexican settlers dating back to the eighteenth century established the architectural vocabulary of the Mission District that is now referred to as the Spanish Colonial Style. The buildings constructed in San Gabriel since the 1770's utilized Mexican architectural forms and matters derived from high style and vernacular Spanish architecture. This building tradition remained unchanged until the arrival of the Americans in the mid-nineteenth century. The most important buildings in San Gabriel date from that period. The San Gabriel Mission and the three surviving adobes in the City are the only surviving structures from that period. The Americans introduced contemporary mid-nineteenth century architectural building materials, methods of construction, and design elements that were often integrated into the traditional Spanish and Mexican architecture. Buildings from this period have not survived.

By the beginning of the twentieth century, American building technology was in full force; however, in California, there was a return to the architectural vocabulary of the Spanish Colonial period as architects attempted to create an indigenous California architecture. From 1890 through the 1920s, it was called the California style or Mission Revival style. In the twenties, it was renamed the Spanish Colonial Revival style. The buildings that survive from this period are the second oldest group of structures in the Mission District and actually give the distinctive appearance to the area.

After World War II, modern architecture became the dominant architectural style in San Gabriel as well as in Southern California. Many of the surviving buildings from this period incorporate architectural details that can be related to famous architects and trends of the period. Some features included white, cream or pastel colored



cement plaster with wood siding, wood shutters, and window sashes painted the same color as the wood trim to contrast with the color of the plaster. These buildings represent the changes in the San Gabriel Valley as individual communities became integrated into a regional suburban configuration.

At the same time, the San Gabriel Parish replaced all of its 1920s Spanish Colonial Revival style buildings with new structures designed in an updated Spanish Colonial Revival style. In other words, San Gabriel experienced a second Spanish Colonial Revival. In the last quarter of the twentieth century, the vocabulary of the Spanish Revival was used for a number of commercial structures in the Mission District. The most successful building erected in the late twentieth century was the Padilla Room at the Civic Auditorium. The architectural quality of these buildings varies greatly, but they do maintain themes that go back to the eighteenth century.



### **7.1 DESIGN POLICY FOR THE MISSION DISTRICT**

New buildings or renovated non-historic buildings constructed in the Mission District shall utilize the architectural vocabulary of three distinct periods in San Gabriel:

1. The Spanish Colonial Period from 1770–1845.
2. The Mission Revival Period from 1895–1920.
3. The Spanish Colonial Revival Period from 1920–1939.

The materials, architectural details, building massing, configuration, and color palette from those periods that are found in existing or former buildings of San Gabriel are given preference in approving proposed designs. Design elements found in Southern California during these periods will be given consideration, unless they are considered inappropriate in scale or configuration for the size of the new building being proposed. Design elements from other states, Spain or Mexico, which are foreign to the San Gabriel or Southern California experience, may be considered inappropriate for use in San Gabriel.





## **7.2 ARCHITECTURAL STANDARDS**

The purpose of Architectural standards is to provide building owners with the information needed to follow one of the three primary variants of the Spanish Colonial architecture used in San Gabriel since the eighteenth century. The Spanish Colonial, Mission Revival, and the Spanish Colonial Revival style have their own distinctive features. Property owners and architects shall select one of the three styles to create a new twenty-first century building. For property owners choosing to use architectural styles other than those outlined, please refer to Section 7.2.1.

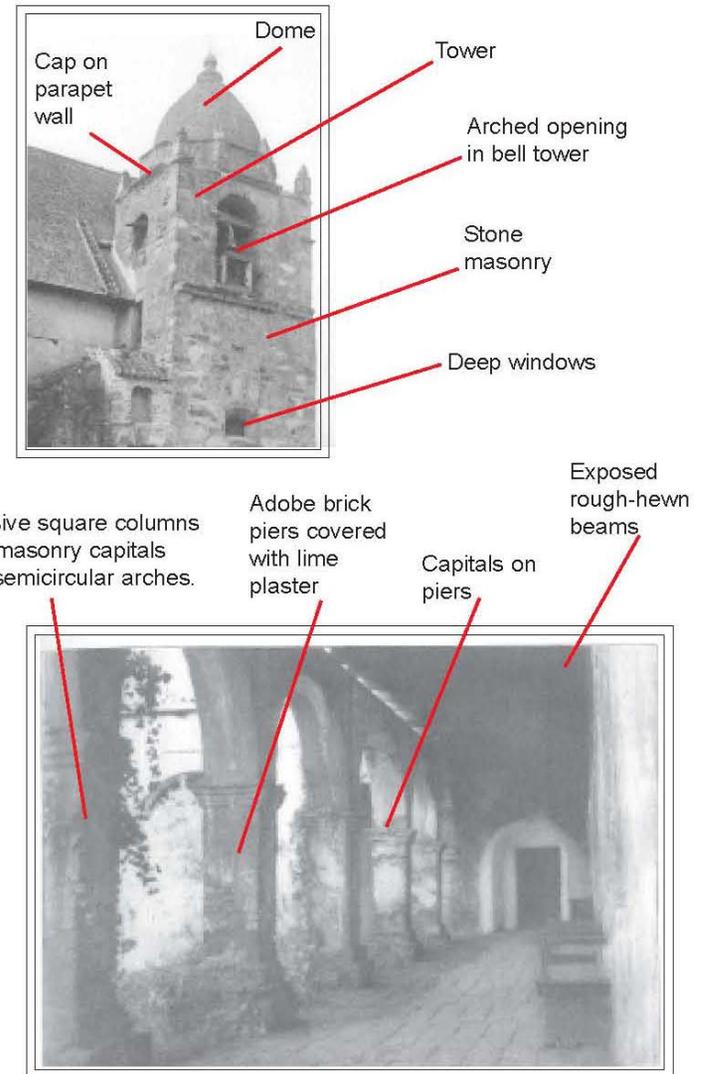
The architectural standards in Table 7.1 for the Spanish Colonial, Mission Revival, and Spanish Colonial Revival discuss the configuration, design details and materials that are characteristic of the three styles of architecture that shall be used for construction of new buildings and remodeling non-conforming buildings in the Mission District. Table 7.1 also provides a guide for restoring or rehabilitating existing buildings in the district that was originally constructed in one of these three styles.

When property owners, architects, and designers require greater detail, a short bibliography of books about the Spanish Colonial, Mission Revival, and Spanish Colonial Revival styles in California is located at the end of this section for reference.

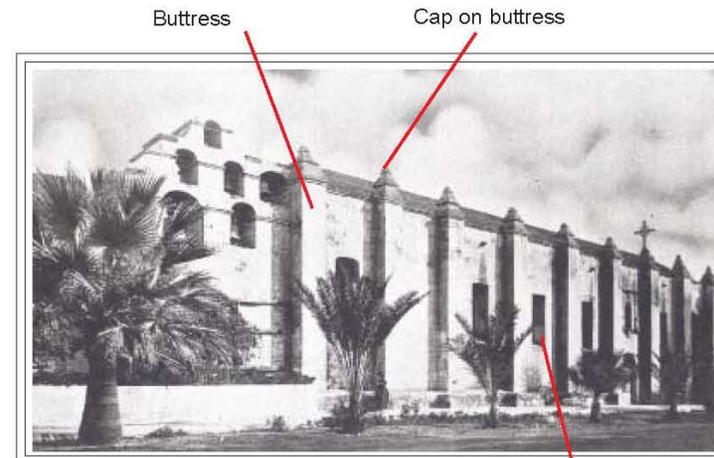


**TABLE 7.1 ~ ARCHITECTURAL STANDARDS**

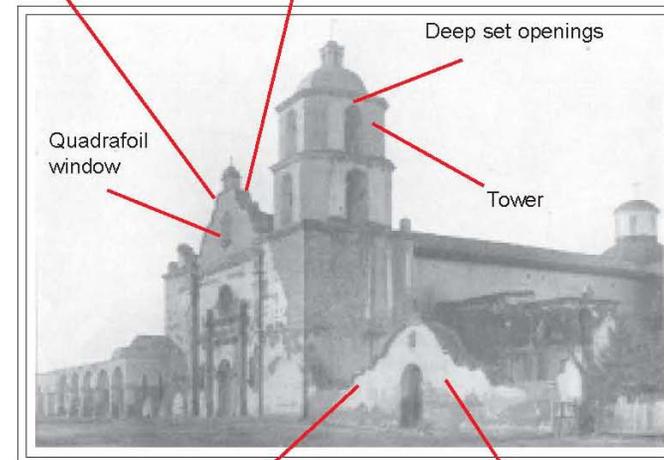
<b>SPANISH COLONIAL (SC) 1770 - 1845</b>	
<b>1. ARCADE, LOGGIA, &amp; CEILINGS</b>	<ul style="list-style-type: none"> <li>a. Exposed hewn or rough sawn beam shall be 24" to 30" on center.</li> <li>b. Exposed beam to be unfinished or stained and supporting wood plank ceilings or underside of roof.</li> <li>c. Barrel vaulted or double barrel-vaulted ceilings to be supported by masonry columns or to resemble brick masonry covered with plaster.</li> </ul>
<b>2. ARCADE &amp; LOGGIA MASONRY PIERS</b>	<ul style="list-style-type: none"> <li>a. Massive square piers that are plain or articulated with masonry capital or base.</li> <li>b. Wood beam lintels.</li> <li>c. Semi-circular arches that appear to be made of masonry and covered with plaster.</li> </ul>
<b>3. ARCADE WOOD POSTS</b>	<ul style="list-style-type: none"> <li>a. Wood posts for residential or small scale arcades to be hewn wood.</li> </ul>
<b>4. BUTTRESSES</b>	<ul style="list-style-type: none"> <li>a. Massive buttresses that appear to be structural.</li> </ul>
<b>6. CHIMNEYS</b>	<ul style="list-style-type: none"> <li>a. Chimneys are inconspicuous.</li> <li>b. Chimneys are located on the roof only.</li> <li>c. Chimneys are covered with cement plaster.</li> </ul>
<b>7. COLUMNS, PIERS &amp; PILASTER CAPS</b>	<ul style="list-style-type: none"> <li>a. A simple projecting plaster capital and base on columns, masonry piers, and pilasters.</li> <li>b. No caps on wood columns.</li> </ul>
<b>8. DECORATIVE WINDOW &amp; DOOR DETAILS</b>	<ul style="list-style-type: none"> <li>a. Simple wood window frames stained or painted brown.</li> </ul>



SPANISH COLONIAL (SC) 1770 - 1845	
<b>8. DOOR FRAMES</b>	a. Simple wood door frames unfinished, stained, or painted brown.
<b>9. DOORS EXTERIOR</b>	a. Door openings are a minimum of 12 inches deep to simulate an adobe brick wall. b. Rough, sawn, or hewed wood plank doors with exposed forged iron nails or decorative bronze bosses are located on the exterior face of the door to simulate traditional construction. c. Finish is clear or dark stain. d. Exposed hardware forged wrought iron.
<b>10. DOORS GARAGE</b>	a. Garage doors will match materials and design details of entrance doors.
<b>11. EXTERIOR WALLS</b>	
<b>Brick</b>	a. Eighteenth and early nineteenth century handmade or imitation Mission brick.
<b>Adobe</b>	a. Adobe brick covered with mud plaster or cement plaster to imitate mud plaster.
<b>Stone Masonry</b>	a. Eighteenth and early nineteenth century stone masonry at the San Gabriel Mission will be covered entirely or partially with mud cement plaster. b. Cut stone decorative details in Spanish Renaissance or Baroque style.
<b>Plaster</b>	a. Mud and lime plaster with smooth irregular surface. b. Cement / lime / and plaster with smooth irregular surface
<b>12. EXTERIOR PARAPET WALLS</b>	a. Simple plaster crown molding with three or four profiles used at the top of walls that do not have a roof or a raised parapet.
<b>13. GABLE WALL PARAPETS</b>	a. Baroque or neoclassical decorative gable ends on large scale buildings only. b. Plain gable with pitched roof.



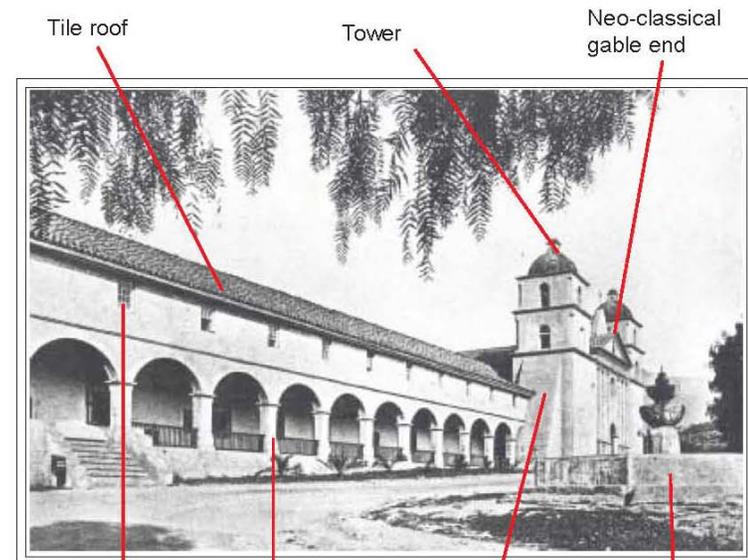
Baroque style decorative gable parapet  
Cap on parapet wall  
Arched opening in bell tower



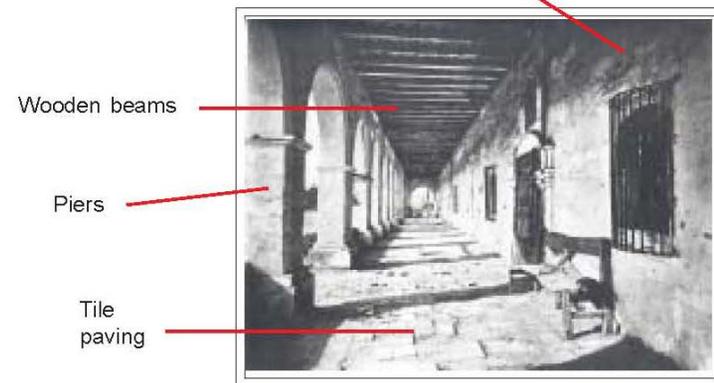
Garden walls  
Mud / lime plaster



SPANISH COLONIAL (SC) 1770 - 1845	
14. GARDEN WALLS	a. Stone, adobe bricks, and fired clay brick walls covered with smooth cement plaster that simulates mud plaster. b. Walls with a flat top or a round cap that is plastered.
15. LIGHTING FIXTURES	a. Wrought iron lanterns will hang from wrought iron chains and be supported by wrought iron brackets.
16. MONUMENT SIGNS	a. Materials (found at the San Gabriel Mission) include stone masonry, fired clay brick, cement stucco that matches mud plaster, hewn timbers, and wrought iron. b. Light fixtures are wrought iron or sheet metal lanterns.
17. PAVING	a. Red clay tile that measures 12 to 18 inches square. b. Laid in grid pattern. c. Decomposed gravel.
18. PERGOLAS	a. Square brick or adobe brick columns covered with plaster. b. Finish wood beams and rafters. c. Log beams and rafters d. No roof covering.
19. ROOF CONFIGURATION	a. Gable, shed, flat b. Segmental domes on towers.
20. ROOF MATERIALS	a. Terra cotta flat tiles, terra cotta barrel tiles, or imitation terra cotra tiles.
21. TOWER DOMES	a. Round or segmented domes. b. Cement stucco on domes.
22. ROOF RAFTER TAILS	a. Simulated rafter tails spaced 24 – 30 inches on center. b. Plain ends on rafter tails.
23. WINDOW GRILLES	a. Turned wood spindle grilles on windows. b. Wrought iron bars on windows.



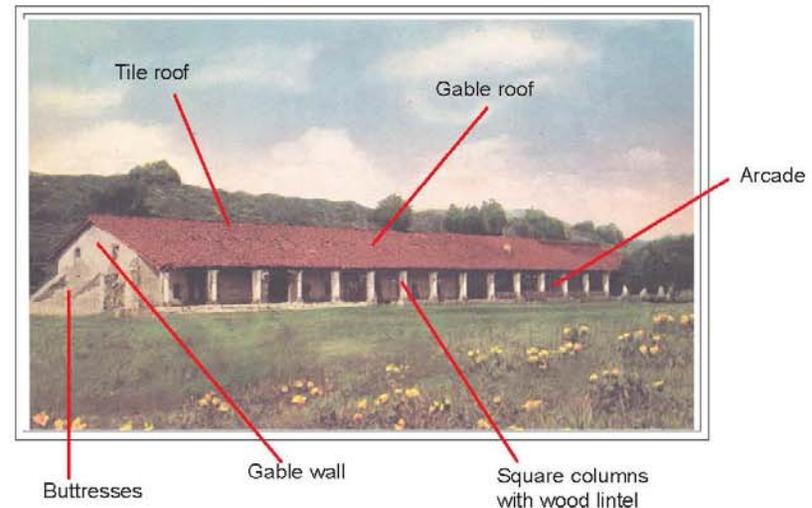
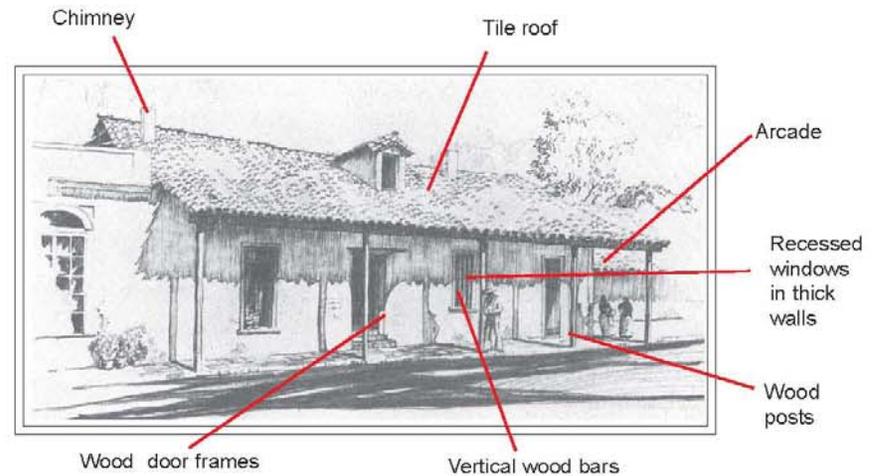
6/6 sash windows  
 Arches & piers  
 Buttress  
 Fountain & tank  
 Wrought iron bars



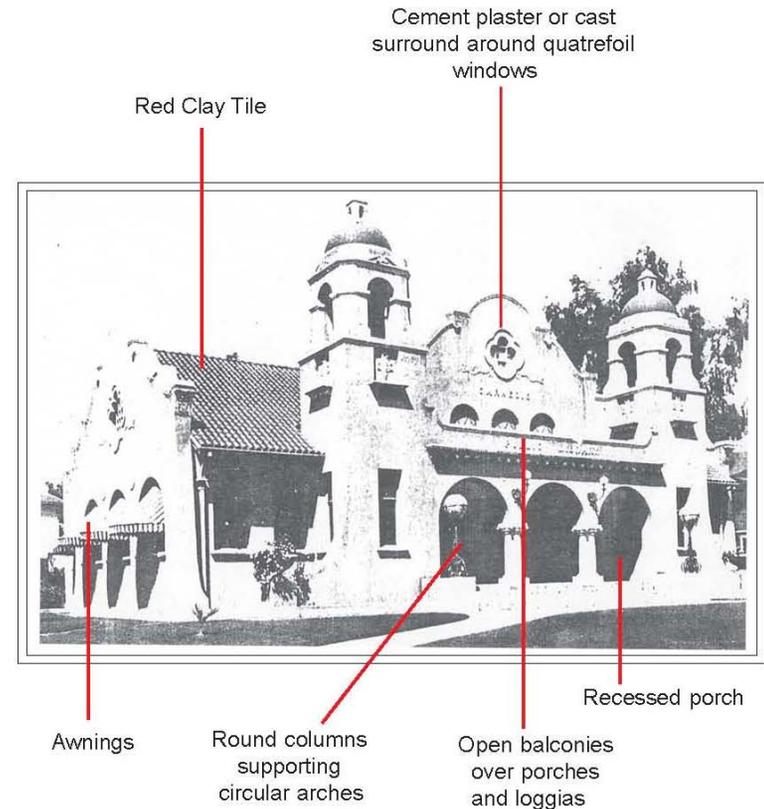
Wooden beams  
 Piers  
 Tile paving



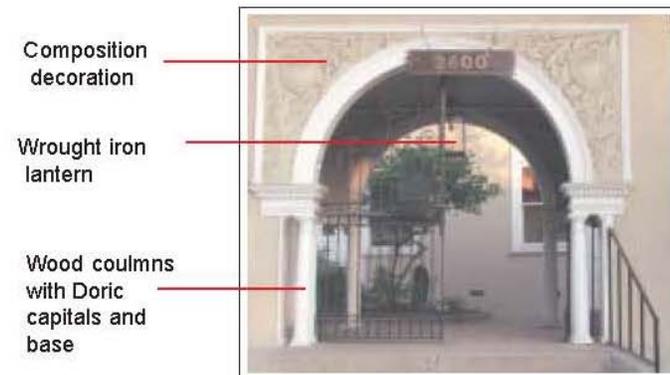
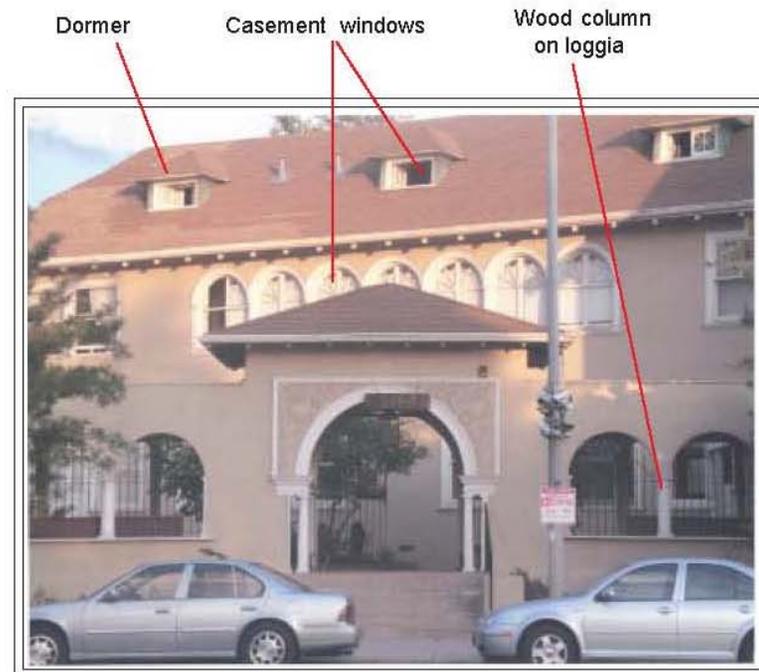
SPANISH COLONIAL (SC) 1770 - 1845	
24. STAIRCASES	a. Solid balustrades covered with plaster, red tile treads, and plaster risers.
25. TOWERS & CAMPANILE	a. Towers, turrets campanile on churches only.
26. WATER TANK, POOLS, & FOUNTAINS	a. Round or square tanks, 30 inches high constructed of reinforced concrete that simulates the appearance of stone or Mission brick masonry covered with plaster. b. Walls of the tank do not have a cap.
27. WINDOWS	a. Spanish Colonial windows did not have glass window sashes until the arrival of American building technology in the 1840s. b. Windows originally were fitted with wood shutters. c. Window openings are a minimum of 12 inches deep to simulate adobe brick construction. d. Turned wood spindles or wrought iron bars are set vertically into the window frame located in front of glazed wood casement windows. e. Exterior wood plank shutters with window grilles. f. American windows are double hung with 6/6, 8/8, 8/12, 16/16 wood sashes. g. Individual panes of glass are square or oblong with the height greater than the width.
Gable Wall & Parapets	a. Round or quatrefoil windows are used as a special accent above the main entrance of a large-scale building.
28. TOWER OPENINGS	a. Arched openings are square.
29. WINDOW SHUTTERS	a. Wood plank shutters with panels or two or three horizontal nailers are exposed and have wrought iron hardware. b. Single shutters are the same width as the window openings. c. Panels on pairs of shutters are one half the width of openings.



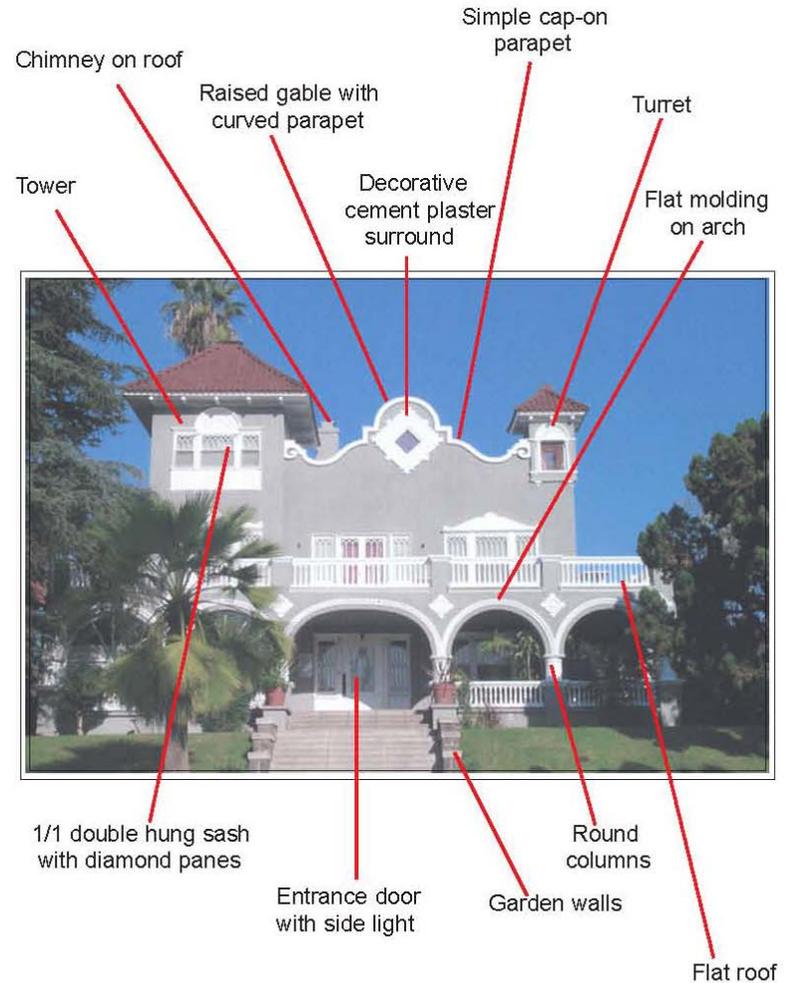
MISSION REVIVAL (MR) 1895 - 1910	
1. ARCADE & LOGGIA BALCONY, & PORCH CEILINGS	<ul style="list-style-type: none"> <li>a. Varnished or painted Tongue and Groove boards.</li> <li>b. Sand-finished cement plaster.</li> </ul>
2. ARCADE & LOGGIA MASONRY COLUMNS AND ARCHES	<ul style="list-style-type: none"> <li>a. Substantial square columns with circular or flat arches.</li> <li>b. Cement plaster with sand finish.</li> <li>c. Substantial round columns that support circular arches.</li> </ul>
3. ARCADE, LOGGIA & BALCONY WOOD COLUMNS	<ul style="list-style-type: none"> <li>a. Classical style round wood columns.</li> <li>b. Doric, Ionic, or Corinthian capital and bases.</li> <li>c. Square and circular flat arches.</li> </ul>
4. BALCONIES	<ul style="list-style-type: none"> <li>a. Recessed balconies with flat or round arch openings and solid balustrades covered with cement plaster.</li> <li>b. Open balconies over porches or loggias with flat roofs with solid balustrade covered with cement plaster.</li> <li>c. Balustrades are part of the balustrade of the wall below.</li> </ul>
5. BUTTRESSES	<ul style="list-style-type: none"> <li>a. Decorative buttresses.</li> </ul>
6. CAPS ON PARAPET WALLS	<ul style="list-style-type: none"> <li>a. Plain flat plaster or sheet metal caps.</li> </ul>



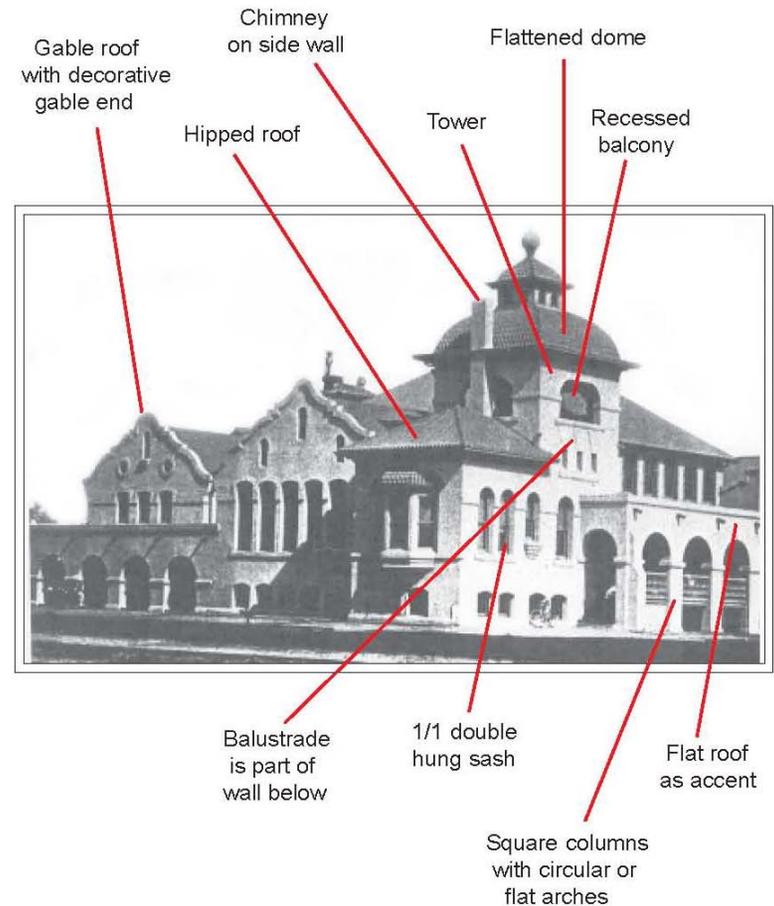
MISSION REVIVAL (MR) 1895 - 1910	
<b>7. CHIMNEYS</b>	<ul style="list-style-type: none"> <li>a. Chimneys are located on the roof or outside wall with a simple cap. Cement plaster with pebbledash or sand finish.</li> <li>b. Chimneys or roof to have cement plaster with pebbledash or sand finish.</li> <li>c. Chimneys on outside wall to be covered with cement plaster with pebbledash or sand finish; clinker brick, or river rock.</li> </ul>
<b>8. COLUMNS &amp; PILASTERS</b>	<ul style="list-style-type: none"> <li>a. Plain columns with wood capital and base.</li> <li>b. Monumental round columns of loggias, arcades, and pergolas.</li> <li>c. Classical style cast stone or wood columns with Doric capitals and bases.</li> </ul>
<b>9. DECORATIVE WINDOW &amp; DOOR DETAILS</b>	<ul style="list-style-type: none"> <li>a. Plain flat or decorative moldings used to accent the head of circular arched windows or doors that are the focal point of the façade.</li> <li>b. Cement plaster, cast stone, or composition molding placed around quatrefoil windows.</li> </ul>
<b>10. DOORS EXTERIOR</b>	<ul style="list-style-type: none"> <li>a. Front doors that are oak or other hardwood with a single wood dropped panel, single glazed panel, or a glazed panel with a wood dropped panel below.</li> <li>b. The oak or hard wood door has a clear coating to expose the grain.</li> <li>c. Hardware is brass or wrought iron in Mission Revival, Arts and Crafts, or traditional design.</li> <li>d. Front doors are a minimum of 42 inches wide.</li> <li>e. Secondary exterior doors will be hardwood or softwood with five horizontal, glazed upper panels and a single panel below.</li> <li>f. Secondary hardwood doors are clear coated or painted. Softwood doors will be painted.</li> <li>g. French doors match the style of casement windows or sash windows.</li> <li>h. Door openings for a pair of double doors are 60 inches in width or less.</li> <li>i. French door openings are to be separated by a wall that is 24 or more inches.</li> <li>j. Single glazed door with narrow fixed sidelights.</li> </ul>



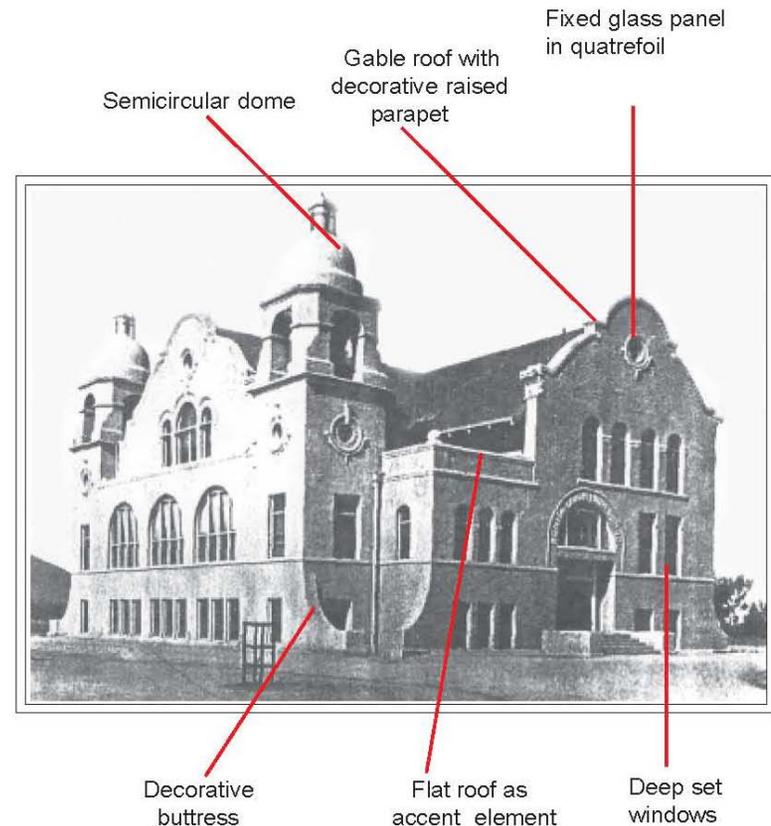
MISSION REVIVAL (MR) 1895 - 1910	
<b>11. DOORS GARAGE</b>	a. Paneled wood doors.
<b>12. EXTERIOR WALLS</b>	
<b>Stone Masonry</b>	a. River rock veneer on cut stone, cast stone, or foundation walls, chimneys, and front porch balustrades.
<b>Plaster</b>	a. Cement plaster with spatter dash finish. b. Cement plaster with sand finish.
<b>Wood Paneling</b>	a. Oak paneling with dropped panels on walls and soffits of a recessed main entrance.
<b>13. GABLE WALLS</b>	a. Raised gable wall will have a Mission style curved parapet wall.
<b>14. GARDEN WALLS</b>	a. Walls to have cement plaster with a sand finish or a pebbledash finish, or veneered with river rock, clinker brick, cut stone with a rock face. b. Caps on walls to be plain. c. Masonry finished walls to have a concrete cap. d. Plaster finish walls to have wood or concrete caps.
<b>15. LIGHTING FIXTURES</b>	a. Wrought iron or copper Arts and Crafts style wall sconces. b. Wrought iron or copper Arts and Crafts style lanterns. c. Cast brass or bronze porch traditional style hanging light. d. Cast brass or bronze traditional style wall sconce.



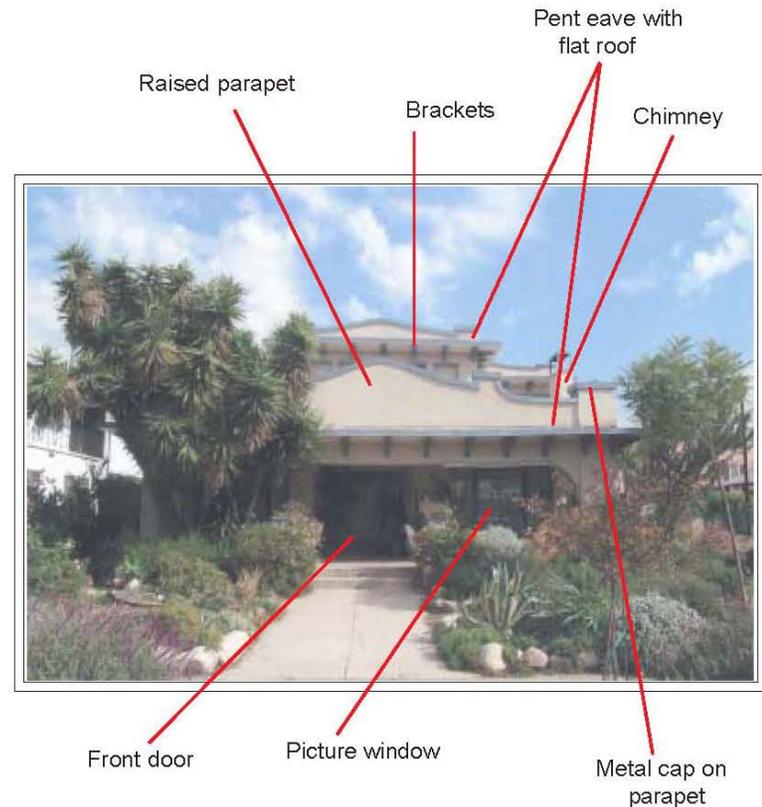
MISSION REVIVAL (MR) 1895 - 1910	
<b>16. MONUMENT SIGNS</b>	<ul style="list-style-type: none"> <li>a. Materials include river rock, cement plaster with a sand finish, cement plaster with a pebbledash finish, cast stone block that matches or is similar to those at 250 South Mission Drive.</li> <li>b. Light fixtures are limited to traditional style of cast bronze standards with glass (or materials that look like glass) lens, copper Arts and Craft style lanterns, and exposed light bulbs.</li> </ul>
<b>17. PAVING</b>	<ul style="list-style-type: none"> <li>a. Plain or red tinted scored concrete poured in a grid pattern.</li> <li>b. Terra cotta tiles laid in a grid pattern.</li> <li>c. Decomposed granite and gravel.</li> </ul>
<b>18. PERGOLAS</b>	<ul style="list-style-type: none"> <li>a. Square or round columns covered with pebbledash or sand finished plaster.</li> <li>b. Wood or cast stone Doric columns.</li> <li>c. Wood beams and rafters.</li> </ul>
<b>19. PORCHES</b>	<ul style="list-style-type: none"> <li>a. Recessed or projecting porches with roofs and solid balustrades covered with cement plaster.</li> <li>b. Projecting porches are treated like loggias or arcades with round or flat arches.</li> <li>c. Floors are concrete or wood.</li> </ul>
<b>20. ROOF BRACKETS</b>	<ul style="list-style-type: none"> <li>a. Decorative brackets with traditional details.</li> </ul>
<b>21. ROOF CONFIGURATION</b>	<ul style="list-style-type: none"> <li>a. Gabled roofs with a decorative raised parapet.</li> <li>b. Hip roofs with straight or flared eaves.</li> <li>c. Flattened or semi-circular domes on towers.</li> <li>d. Pointed caps on circular towers.</li> <li>e. Flat roofs as accents on elements of the main building, such as porches and colonnades.</li> <li>f. Pent eave roofs will have brackets.</li> </ul>



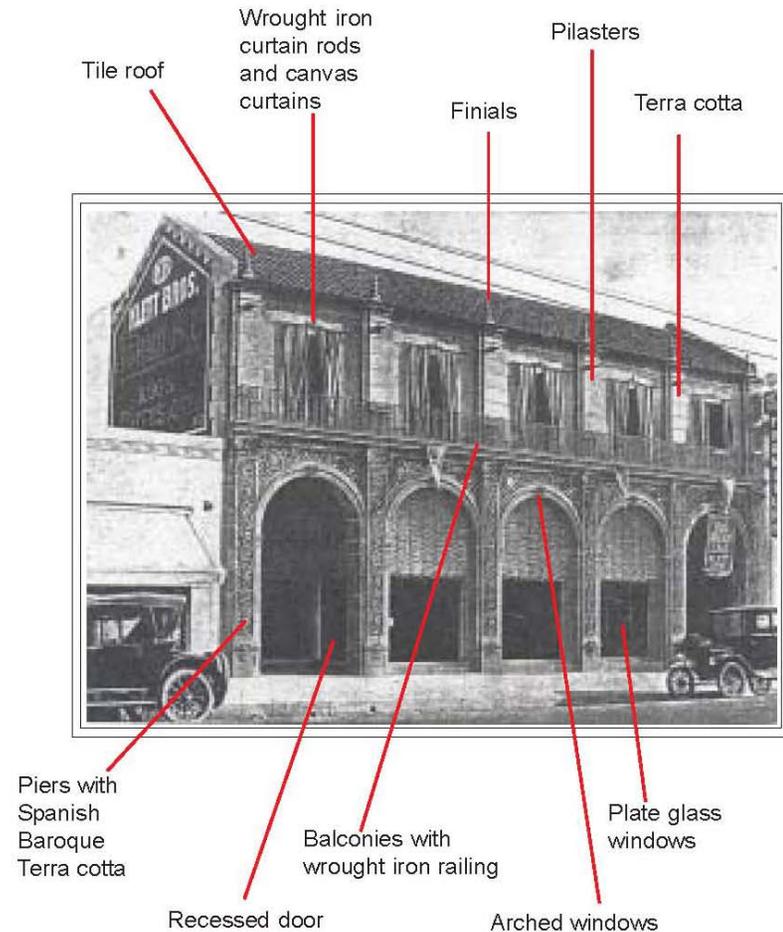
MISSION REVIVAL (MR) 1895 - 1910	
<b>22. ROOF DORMERS</b>	<ul style="list-style-type: none"> <li>a. Roof dormers with gable or hip roofs.</li> <li>b. Roof dormers with raised Mission Revival parapet.</li> </ul>
<b>23. ROOF MATERIALS</b>	<ul style="list-style-type: none"> <li>a. Terra cotta flat tiles, terra cotta barrel tiles, or imitation terra cotta tiles.</li> <li>b. Galvanized sheet metal imitation tiles.</li> <li>c. Galvanized sheet metal with standing seam may be used for dome roofs.</li> <li>d. Asphalt shingles</li> </ul>
<b>24. ROOF RAFTER TAILS</b>	<ul style="list-style-type: none"> <li>a. Exposed rafter tails will be spaced 16 inches on center with straight ends or ends with acute angles.</li> </ul>
<b>25. STAIRCASES</b>	<ul style="list-style-type: none"> <li>a. Solid front balustrade with covered cement plaster with sand finish.</li> <li>b. Poured concrete treads and risers.</li> </ul>
<b>26. TOWERS &amp; TURRETS</b>	<ul style="list-style-type: none"> <li>a. Square cornered towers.</li> <li>b. Square cornered towers will have octagonal drums.</li> <li>c. Octagonal corner towers.</li> </ul>
<b>27. WATER TANK, POOLS, &amp; FOUNTAINS</b>	<ul style="list-style-type: none"> <li>a. Round or square tanks, 18 to 24 inches high, constructed of reinforced concrete and will be capped in concrete.</li> <li>b. Walls of the tank covered with cement plaster with a sand finish or a pebbledash finish.</li> </ul>



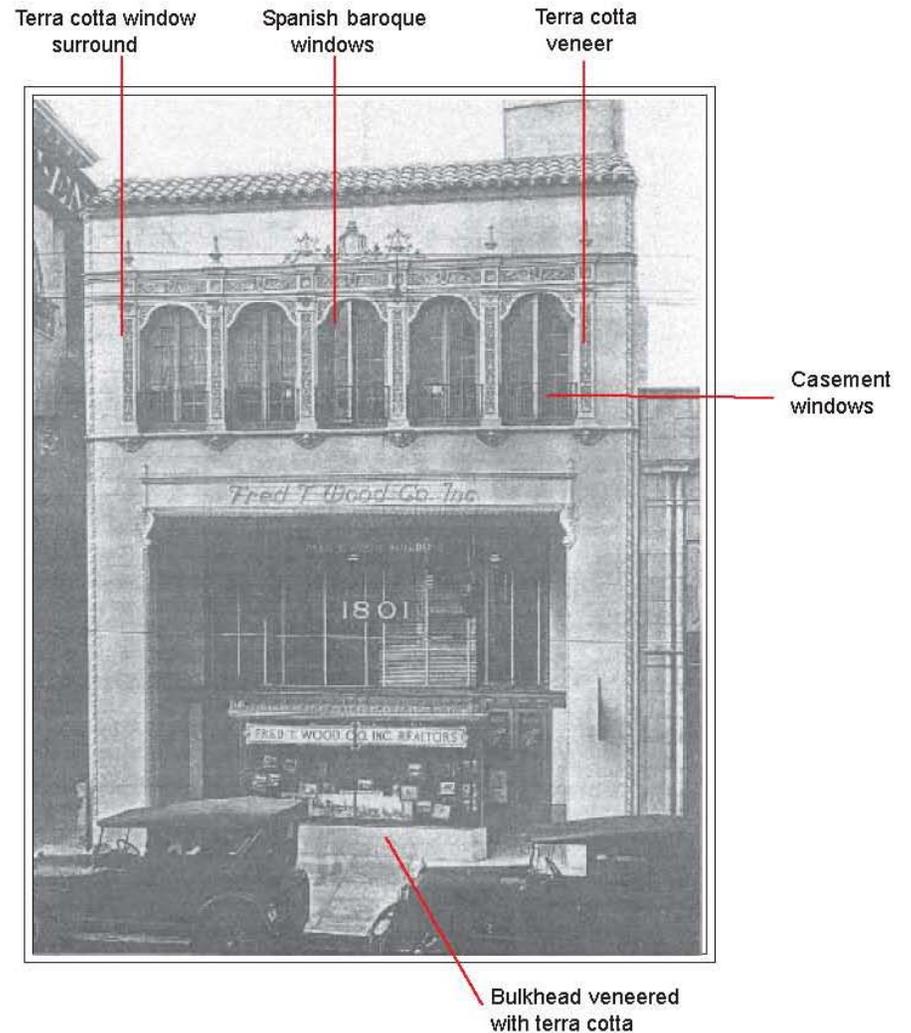
<b>MISSION REVIVAL (MR) 1895 - 1910</b>	
<b>28. WINDOWS</b>	<ul style="list-style-type: none"> <li>a. Window openings have a minimum depth of 5 ½ inches.</li> <li>b. Double hung 1/1 window sash, the upper sash can also be divided into diamond panes, square panes, or square and vertical panels.</li> <li>c. Casement windows with a single pane of glass.</li> <li>d. Casement windows divided with one horizontal muntin creating a narrow horizontal pane of glass at the top, and a long pane at the bottom.</li> <li>e. Casement window can have diamond shaped panes of glass.</li> <li>f. Picture windows with a large center window flanked by a single narrow window on each side. The center window is a single piece of fixed glass or a double hung 1/1 sash window. The side windows are double hung sash windows or casement windows.</li> <li>g. Small decorative windows include vent windows hinged at the top, and fixed glass windows that are round, oval, or quatrefoil.</li> <li>h. Fixed art glass, beveled glass, or diamond shaped panels are used as sidelights and transoms for doors and large windows.</li> <li>i. The window sash is soft wood that is painted.</li> <li>j. Commercial display windows are single panes of fixed clear glass with a separate transom window.</li> <li>k. Commercial display windows can have wood or bronze frames.</li> </ul>
<b>28. WINDOW AWNINGS &amp; CURTAINS</b>	<ul style="list-style-type: none"> <li>a. For residential and large scale buildings, simple straight awnings with side panels and with straight or scalloped front flap on individual windows are hung on a utilitarian metal frame that is not exposed.</li> <li>b. For display windows on commercial buildings, simple straight awnings with or without sides, with straight or scalloped edges, are hung on utilitarian metal frames.</li> </ul>



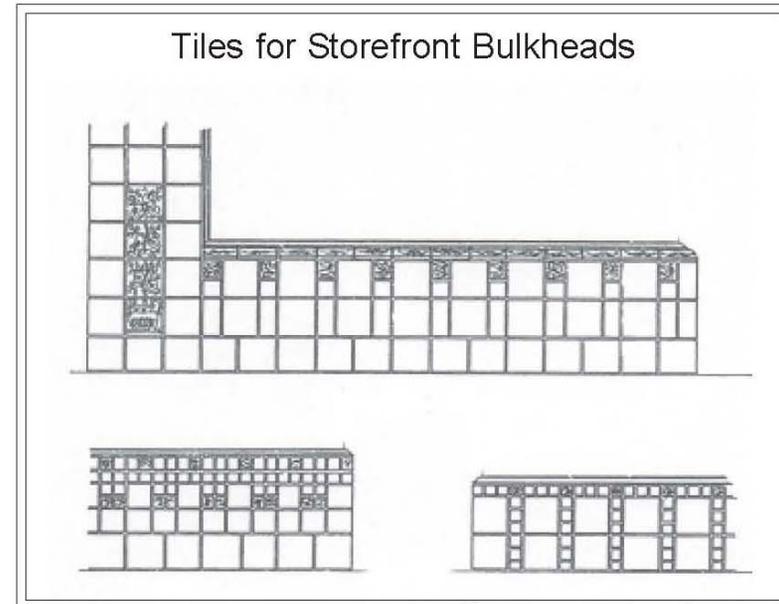
<b>SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939</b>	
<b>1. ARCADE, LOGGIA, BALCONY, &amp; PORCH CEILINGS</b>	<ul style="list-style-type: none"> <li>a. Barrel vaulted or double barrel-vaulted ceilings with a smooth plaster finish to be plain plaster or with painted, stenciled, or hand-painted designs.</li> <li>b. Exposed rough sawn beams that are painted with or without stencils.</li> <li>c. Ceiling with smooth plaster that is painted or stenciled.</li> <li>d. Ceiling with California finished plaster.</li> <li>e. Ceiling with wood panels left natural or stained or with wood planks left natural, stained, or painted.</li> </ul>
<b>2. ARCADES &amp; LOGGIAS WITH MASONRY, PIERS, AND COLUMNS</b>	<ul style="list-style-type: none"> <li>a. Substantial square piers that are circular or have flat arches.</li> <li>b. Stone columns with Doric capitals and bases.</li> <li>c. Spanish Gothic, Spanish Renaissance, Spanish Baroque or Spanish Colonial styles.</li> </ul>
<b>3. BALCONIES</b>	<ul style="list-style-type: none"> <li>a. Cantilevered balconies with wrought iron floors and railings.</li> <li>b. Balconies situated over projecting entrances.</li> <li>c. Balustrades covered with cement plaster.</li> <li>d. Recessed balconies extend slightly beyond the face of the first floor wall. They have turned or carved wood posts, turned wood balusters, wood hand rails, and exposed beams with or without decorative ends. The wood is stained with or without decorative painted finishes on selected features.</li> <li>e. Recessed balconies with cast stone columns and arched openings.</li> <li>f. Open or recessed balconies with plaster covered balustrades with decorative pierced openings in the plaster or pierced screens made of cast stone or terra cotta.</li> </ul>



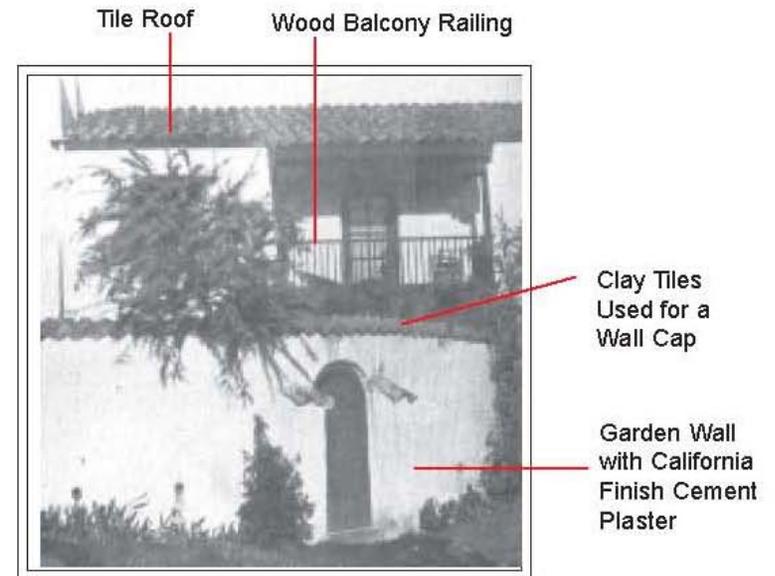
SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939	
<b>4. CAP PARAPET WALLS</b>	a. Cement plaster or cast stone caps with Moorish, Spanish Gothic, Spanish Renaissance, or Spanish Baroque details.
<b>5. CHIMNEYS</b>	a. Chimneys have cement plaster finishes and are located on the roof or wall. b. Chimneys can have a simple cap, a terra cotta chimney pot, or a pierced screen made of red tile or cast stone. c. Chimneys are decorated with a glazed tile panel.
<b>6. COLUMNS &amp; PILASTERS</b>	a. Columns or pilasters are cast stone in the Moorish, Spanish Gothic, Spanish Renaissance, or Spanish Baroque style.
<b>7. DECORATIVE WINDOW &amp; DOOR DETAILS</b>	a. Cast stone or cement plaster in Moorish, Spanish Gothic, Spanish Renaissance, or Spanish Baroque styles surrounds on windows or main entrance doors. b. Cast stone or cement plaster in Moorish, Spanish Gothic, Spanish Renaissance, or Spanish Baroque entablature will be placed around the main entrance door.
<b>8. DOORS EXTERIOR</b>	a. Door openings will be a minimum of 5 ½ inches deep for small-scale residences and a minimum of 9 ½ inches deep for larger scale buildings. b. Front doors for residences will be hardwood with panel doors with or without decorative glass panels, clear coat finish, and wrought iron or brass hardware. c. French doors with wood or steel frames, round or flat arches, and two to four horizontal muntins. Individual panes of glass will be square or oblong with the width greater than the height. Wood and steel will be painted. d. Secondary doors will be softwood or hardwood with period decorative panels or decorative glass panels. e. Softwood will be painted. Hardwood will have a clear coating.



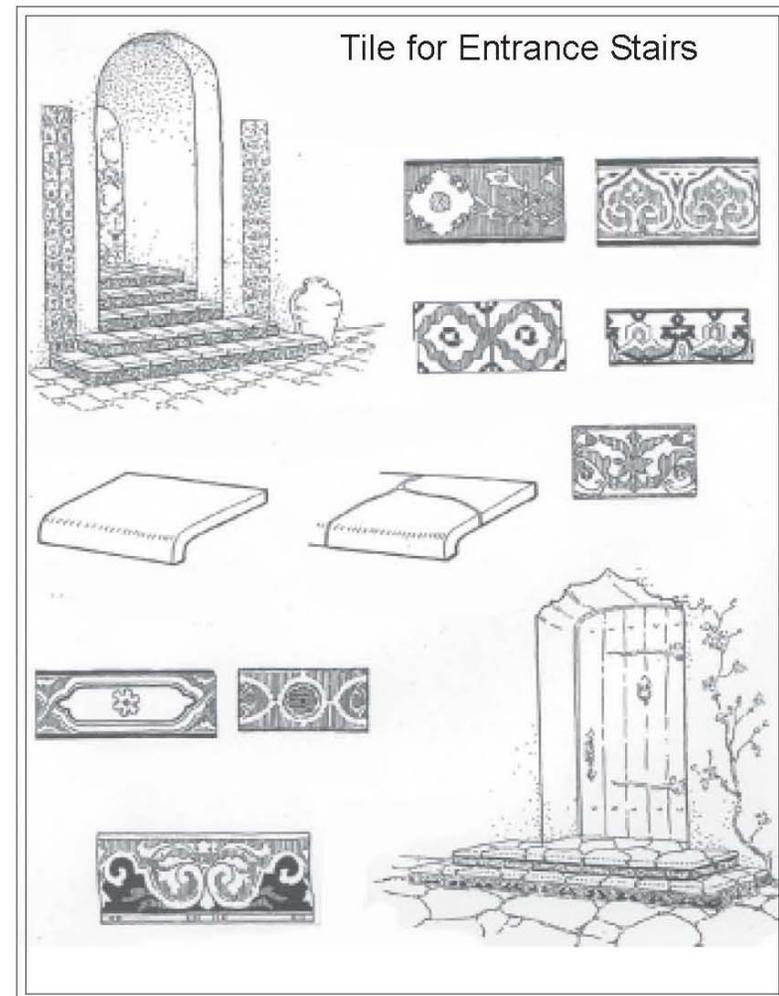
<b>SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939</b>	
<b>9. DOORS GARAGE</b>	<ul style="list-style-type: none"> <li>a. Paneled wood doors with or without decorative details.</li> <li>b. Plank wood doors.</li> </ul>
<b>10. EXTERIOR WALLS</b>	
<b>Brick</b>	<ul style="list-style-type: none"> <li>a. Eighteenth and early nineteenth century style hand made Mission brick.</li> <li>b. Exposed early twentieth century manufactured brick partially covered with cement plaster as an accent.</li> <li>c. Twentieth century manufactured brick with one coat of white paint.</li> </ul>
<b>Adobe</b>	<ul style="list-style-type: none"> <li>a. Imitation adobe brick covered with cement plaster to imitate mud plaster.</li> </ul>
<b>Tile</b>	<ul style="list-style-type: none"> <li>a. Spanish Colonial Style, Malibu, Catalina, Gladding McBean decorative panels on bulkhead walls below storefront windows.</li> </ul>
<b>Plaster</b>	<ul style="list-style-type: none"> <li>a. Cement plaster with sand finish.</li> <li>b. Cement plaster with California finish.</li> </ul>
<b>Concrete</b>	<ul style="list-style-type: none"> <li>a. Exposed reinforced concrete with exposed horizontal form boards pattern.</li> </ul>
<b>Cast Stone</b>	<ul style="list-style-type: none"> <li>a. Spanish Renaissance or Baroque architectural details on the projecting or recessed walls at the main entrance.</li> </ul>
<b>Wood Paneling</b>	<ul style="list-style-type: none"> <li>a. Oak paneling with dropped panels on walls and soffits of a recessed main entrance.</li> </ul>
<b>11. GABLE WALLS</b>	<ul style="list-style-type: none"> <li>a. Cement plaster with sand or California finish.</li> <li>b. Raised gable end over main entrance doors can be veneered in cast stone with Spanish Renaissance or Baroque details.</li> </ul>



<b>SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939</b>	
<b>12. GARDEN WALLS</b>	<ul style="list-style-type: none"> <li>a. Adobe brick, Spanish Colonial style brick, or twentieth century style brick walls covered with cement plaster.</li> <li>b. The cement plaster is often left off in places to give the picturesque appearance of deteriorated plaster that reveals the brick wall.</li> <li>c. Twentieth century manufactured brick walls with a wash of white paint that simulates deteriorated paint.</li> <li>d. Concrete walls covered with cement plaster that has a Californian finish.</li> <li>e. Reinforced concrete walls with exposed board form marks left unpainted.</li> <li>f. Masonry walls veneered with glazed Spanish Colonial, Malibu, Batchelder, or other 1920s California tile.</li> <li>g. Terra cotta tile, red clay roof tile, cast stone, Spanish colonial style brick, or twentieth century brick can be used as a cap on walls with cement plaster.</li> </ul>
<b>13. LIGHTING FIXTURES</b>	<ul style="list-style-type: none"> <li>a. Wrought iron and glass hanging lanterns along and wall sconces.</li> <li>b. Tin hanging lanterns with cut and pierced designs.</li> <li>c. Sheet metal and glass lanterns and wall sconces.</li> </ul>
<b>14. MONUMENT SIGNS</b>	<ul style="list-style-type: none"> <li>a. Materials include cement stucco with California or Spanish finish, standard bricks partially covered with cement stucco or painted white, Spanish Colonial tile, California art tile, wrought iron, planed wood with painted finish, and hewn wood with a stain finish.</li> <li>b. Lighting fixtures include wrought iron or sheet metal.</li> </ul>

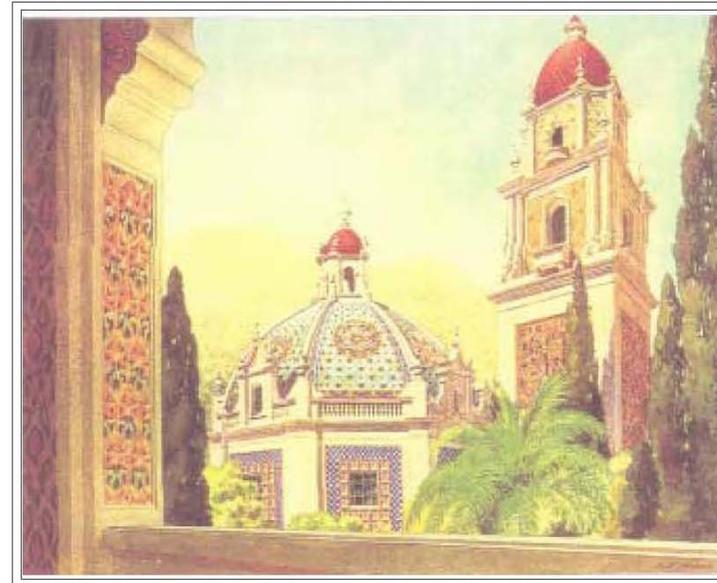


<b>SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939</b>	
<b>15. PAVING</b>	<ul style="list-style-type: none"> <li>a. Terra cotta tiles are square, hexagonal, or octagonal.</li> <li>b. Different sized tiles laid in various geometric patterns.</li> <li>c. Moorish, Spanish Colonial, and 1920s California manufactured glazed or matte finished tile laid in various geometric patterns.</li> <li>d. Terra cotta and glazed tile used together.</li> <li>e. Mission style bricks and twentieth century bricks laid in basket weave, herringbone, running flat, cross flat, and diagonal flat patterns.</li> <li>f. Concrete scored to look like irregular stone paving.</li> <li>g. Flagstone paving with irregular, random rectangular, or rectangular patterns.</li> <li>h. Decomposed granite.</li> </ul>
<b>16. PERGOLAS</b>	<ul style="list-style-type: none"> <li>a. Cast stone Spanish Renaissance or Baroque column.</li> <li>b. Square or round columns covered with cement plaster.</li> <li>c. Wood beams and rafters with plain or decorative beam ends and rafter tails.</li> </ul>
<b>17. PORCH ENTRANCE LANDINGS</b>	<ul style="list-style-type: none"> <li>a. Porch landings with tile, terra cotta, or cement paving on the treads and landing.</li> <li>b. Porches with wrought iron railings.</li> </ul>
<b>18. ROOF BRACKETS</b>	<ul style="list-style-type: none"> <li>a. Wood decorative brackets stained or painted.</li> <li>b. Cement plaster molding.</li> </ul>
<b>19. ROOF CONFIGURATION</b>	<ul style="list-style-type: none"> <li>a. Gable, Hip, and Shed.</li> <li>b. Towers to have domes.</li> <li>c. Commercial buildings can have flat roofs with decorative tile roof above street facade.</li> </ul>
<b>20. ROOF MATERIALS</b>	<ul style="list-style-type: none"> <li>a. Terra cotta flat tiles, terra cotta barrel tiles, or imitation terra cotta tiles.</li> <li>b. Glazed Spanish Colonial tiles will be used on dome roofs.</li> </ul>

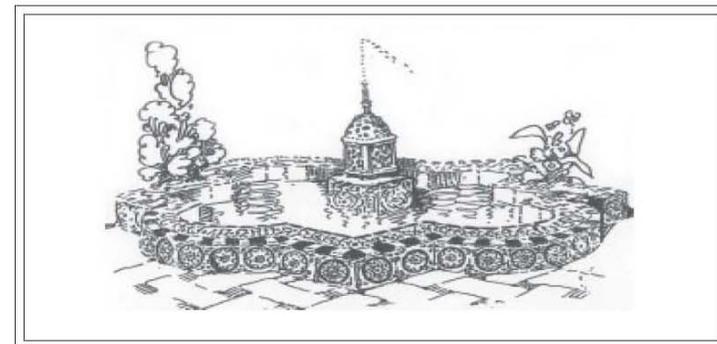


<b>SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939</b>	
<b>21. ROOF RAFTER TAILS</b>	a. Plain or decorative rafter tails 16 inches on center.
<b>22. SCREENS &amp; GRILLES ON WINDOWS, DOORS, &amp; TRANSOMS</b>	a. Turned wood grilles. b. Wrought iron grilles with or without cast iron decorative elements. c. Bronze grilles on commercial buildings. d. Terra cotta tile screens. e. Reinforced concrete pierced screens. f. Cast stone pierced screens.
<b>23. STAIRCASES</b>	a. Solid balustrades covered with plaster with California finish. b. Stair risers and treads will be covered with terra cotta, glazed decorative period tiles, magnesite, or finished concrete.
<b>24. TOWERS</b>	a. Square and octagonal.
<b>25. WATER TANK, POOLS, &amp; FOUNTAINS</b>	a. Round, octagonal, star, and quatrefoil shape pools with basins, 12 to 18 inches high. b. Spanish Baroque stone fountains, 1920's terra cotta or tile fountains manufactured in California, and fountains veneered with tile placed in the center of large pools. c. Semi-circular, square, and oblong pools attached to a garden wall or a wall of a building. d. Pool basins veneered with Spanish Colonial, Andalusian, Moorish, Malibu, Batchelder, or other 1920s California tile. e. Tiles set in geometric patterns or broken tiles laid in an irregular crazy quilt pattern.

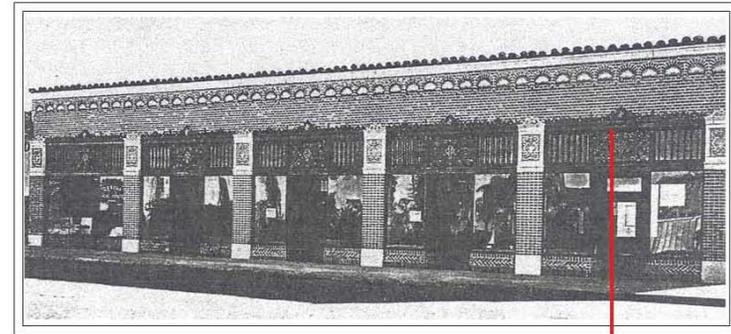
Tiled Dome



Fountains and Pools

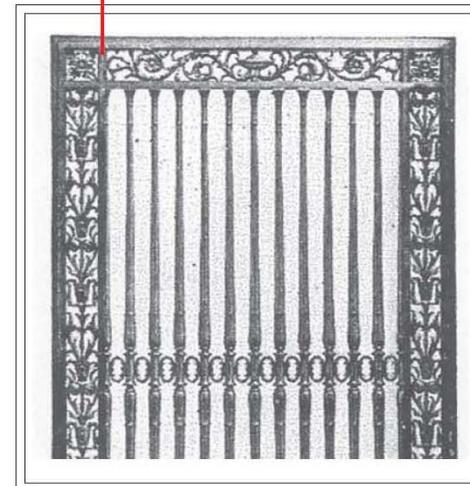


SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939	
26. WINDOWS	
Residential	<ul style="list-style-type: none"> <li>a. Window openings have a minimum depth of 5 ½ inches on residences and 9 ½ inches on larger scale buildings.</li> <li>b. Wood or metal casement windows have two to four horizontal muntins. The individual panes of glass are square or wider than they are tall. The wood or metal is painted on all buildings.</li> <li>c. Single large circular, parabolic, pointed, or flat arch. Wood or metal window. Glazing can be single sheet of clear glass, square or vertical panes. Leaded clear glass panes with or without colored glass inserts can also be used on residential buildings.</li> </ul>
Institutional	<ul style="list-style-type: none"> <li>a. Steel casement windows with horizontal and vertical muntins.</li> <li>b. Large-scale wood or steel windows with fixed and/or movable sections.</li> </ul>
Commercial	<ul style="list-style-type: none"> <li>a. Display windows with wood or metal frame and a single pane of glass</li> <li>b. Transom windows above display windows.</li> <li>c. The bulkhead panel below the display window will be covered with plain dark glazed tile, Spanish Colonial tile, or 1920s California art tile.</li> </ul>
All Building Types	<ul style="list-style-type: none"> <li>a. Decorative windows will be round, oval, or square.</li> <li>b. Decorative windows will have Moorish or Spanish Gothic details.</li> </ul>

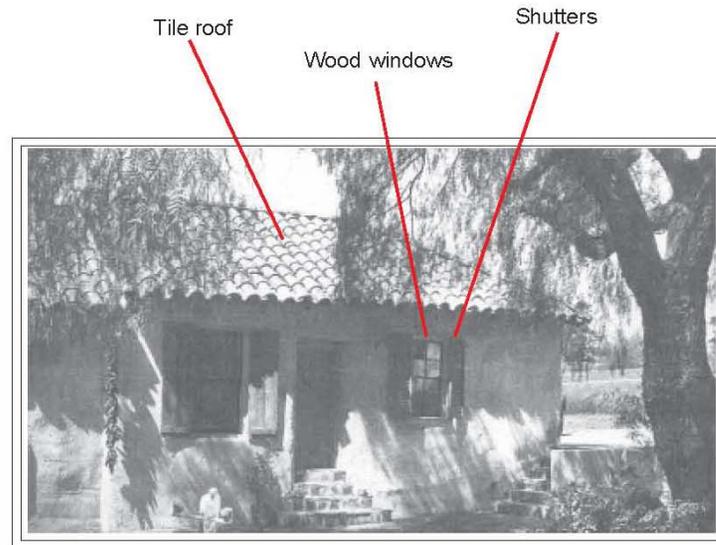


Wrought iron grilles over transoms

Bronze window grille for institutional or commercial structure



SPANISH COLONIAL REVIVAL (SCR) 1920 - 1939	
<b>27. WINDOW AWNINGS &amp; CURTAINS</b>	<ul style="list-style-type: none"><li>a. Simple straight awnings with sides or awnings with front flap and sides that have straight or scalloped edges are hung on a utilitarian metal frame.</li><li>b. Simple straight awnings without side panels or a straight or scalloped front flap are hung over decorative wrought iron frames.</li><li>c. Canvas curtains, attached to wrought iron rings and decorative wrought iron curtain rods are attached to the exterior wall.</li></ul>
<b>28. WINDOW SHUTTERS</b>	<ul style="list-style-type: none"><li>a. Wood plank shutters with two or three exposed horizontal nailers.</li><li>b. Wood louvered shutters.</li><li>c. A pair of shutters for each window.</li><li>d. The width of each leaf of the shutter will be one half of the window opening.</li></ul>



### **7.2.1 Modifications to Architectural Design Styles**

While cities often reflect their own historical influences and time periods, there may be situations when different architectural styles may be appropriate for a new structure in the Mission District. These designs are not permitted on any buildings along Mission Drive or adjoining key cultural resources. The following criteria shall be used to evaluate each proposal:

- Complementary with the three historical architectural styles;
- Quality of the overall design demonstrates a high level of design expertise and craftsmanship;
- Pedestrian, human scale with historical references appropriate for the district;
- Impact upon historic sites, historic or architecturally significant buildings, structures, and public improvements;
- Protection of view corridors, both across the district and with respect to specific cultural and architectural resources; protection of key sight lines and viewing envelopes;
- Public streetscape and amenity values, quality and design of open space features and outdoor living areas;
- Style not to perfectly replicate the adjoining building for new buildings directly adjacent to an existing resource; and
- Design details with subtle references that distinguish between authentic older buildings and newer buildings reflecting traditional styles, or alterations to older buildings.

All design proposals must be prepared by a licensed Architect. The Community Development Director, or his designee, shall make the final decision on the appropriateness of the design. The Consultant City Architect or Restoration Architect may be consulted for evaluation of the proposals.

### **7.2.2 Color Palette and Materials**

Color has always been an important element of different periods and styles of architecture. In order to reinforce the diverse architectural styles in the Mission District, distinct color palettes that were used when the structures were built are required. The color palette that is appropriate for one style of architecture cannot necessarily be used on another style. New buildings designed in the Spanish Colonial style, Mission Revival style, and the Spanish Colonial Revival style shall utilize each of its own appropriate color palettes.



The Mission District also contains buildings whose architectural styles are not derived from the original Spanish Colonial style introduced in the late eighteenth century. They include late nineteenth century structures, early twentieth century commercial buildings, bungalows built in the 1920s and 1930s, and structures designed in the modern style after World War Two. They have their own distinctive color palette.

In order to maintain visual harmony in the Mission District, the color palette used on non-contributing existing buildings and new contemporary buildings shall be selected from any of the color palettes listed for the period styles. This group of buildings can use different colors from more than one color palette to meet design sensibilities. Though the emphasis of design is focused on three historical periods of architecture, there are other styles of architecture that could be replicated. The following are the color palettes for each style of architecture in the Mission District:

**A. Spanish Colonial Style Buildings**

1. Walls: Cement plasters painted white to simulate lime white wash.
2. Wood Architectural Features: Stained wood or natural wood with a clear stain.
3. Roofs: Red clay tile.

**B. Late Nineteenth Century**

1. Queen Anne Victorian Cottage such as the Bovard-Wilson Hayes House and Jail
2. Wood Shingles and Siding; stained or painted wood
3. Wood Trim: White or cream color
4. River Rock Stone: Natural finish

**C. Mission Revival Style Buildings and Vernacular Commercial Buildings**

1. Cement Plaster: New cement plaster with a sand finish or pebble dash finish with natural materials. Existing cement plaster shall be painted gray or brown/gray paint to simulate a natural finish.
2. Brick and River Rock: Natural finish.



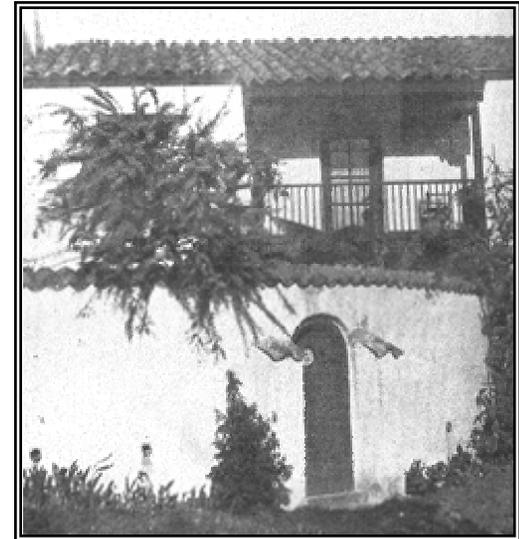
Stucco Samples



3. Wood Shingles and Siding: Brown, dark green, dark blue/green, barn red, or red/brown stain or paint.
4. Wood Trim: Cream, yellow ochre, red ochre brown, dark green, dark blue/green, barn red, or red/brown paint.
5. Entrance Doors: Oak, walnut, or mahogany stain.
6. Secondary Doors and Window Sash: Secondary doors and window sash are often painted a different color than the trim such as cream, ochre, brown, dark green, dark blue/green, dark red or red/brown paint.
7. Sheet Metal: Painted the same color as the wood trim.
8. Wrought Iron: Natural finish.
9. Brass Hardware: Unfinished without a clear lacquer coating.
10. Concrete Paving: Concrete with natural finish or tinted red.

**D. Spanish Colonial Revival Style**

1. Cement Plaster: New cement plaster in natural color; cement plaster tinted the warm colors of stone, warm white, or cream; or white paint may simulate whitewash.
2. Existing cement plaster shall be warm gray or gray/brown paint to simulate natural or tinted cement plaster, warm white, or cream paint.
3. Wood Trim, Window Sash, Secondary Doors, and Shutters: Window and doors should be painted the same color as the wood trim.
  - Unpainted surface that becomes discolored;
  - Brown transparent, semi-transparent, or solid stain;
  - Cream, brown, apple green, dark green, acid green, gray green, blue/green, French blue, brick red, or bright yellow paint.
4. Turned Wood Balcony Roof Supports, Railings, Brackets, and Grilles:
  - Unpainted or brown stain on the body with highlights of brick red, yellow, and green paint on the turnings.
  - The combination of green, red, and yellow, the colors of the Mexican flag, to highlight architectural elements was a popular motif that reflects the Mexican heritage of Southern California.
  - Other colors that can be used include orange and black.



5. Main Entrance Door: Use no finish on doors that simulates antique doors with hand forged nails and cast bronze bosses. Use Oak, Walnut or Mahogany finishes.
6. Sheet Metal: Architectural elements shall be painted the same colors as the trim.
7. Architectural features that are meant to look antique shall be painted black.
8. Wrought Iron: Architectural features that are meant to look antique should be left unfinished or painted black. Wrought iron railings shall be painted black or dark black/green.
9. Brass Hardware: Shall be unfinished without a clear lacquer coating or shall have a bright finish with a lacquer coating.

**E. 1920s and 1930s Bungalows**

1. Wood Siding: White, cream, light yellow, light tan, or light gray paint.
2. Wood Trim: White or cream paint.
3. Exterior Entrance Door: Oak, walnut, or mahogany stain or shall be painted white, cream, dark green, or acid green.
4. Window, Secondary Doors, and Garage Doors: White, cream, dark green, or acid green.
5. Porch Floors: Dark green, dark red, or dark gray paint.
6. Porch Ceilings: White or cream paint.
7. Gable or Hip Roofs: Any color of asphalt shingle.
8. Sheet Metal Gutters and Rain Leaders: White or cream paint.
9. Wrought Iron: Black/green or black paint.

**F. 1940s and 1950s**

There are no finishes listed for the 1940s and 1950s buildings.

**7.3 Review and Approval Process**

1. **Single-Family Residential:** A site plan review application shall be submitted to the Community Development Department for all new construction or alterations to a non-historic single-family residence. Building permits shall not be issued for any structure until City staff in consultation with the City Preservation Architect approves a site plan review covering the parcel to be used. The Community Development Department shall utilize the evaluation criteria as described in this Specific Plan in making its recommendation. Building permits may be issued



only in accordance with an approved site plan review, including the terms and conditions thereof.

**2. Multi-family Residential, Commercial, and Industrial:**

- a. Staff level Precise Plan of Design. Residential projects of two to four dwelling units or for commercial, office, institutional or industrial projects equal to or less than 3,000 square feet of gross floor area shall be considered by the Community Development Director within 30 days after the filing of a complete application. The Community Development Director shall approve, disapprove, or approve with conditions, the application. The Community Development Director may refer any project, not otherwise required for Design Review Commission review and recommendation, if he or she deems it necessary to carry out the purposes of this subchapter. Any person dissatisfied with the decision of the Community Development Director may appeal the decision to the Design Review Commission in the time and manner specified in § 153.004 of this code.
- b. Design Review Commission Precise Plan of Design.
  - i. The Design Review Commission shall consider any precise plan of design application for residential projects of five or more dwelling units, applications for commercial, office, and institutional or industrial projects in excess of 3,000 square feet of gross floor area. The Design Review Commission shall also consider additions to commercial, office or manufacturing buildings that add more than 2,500 square feet of gross floor area to the existing structure(s).
  - ii. The Community Development Director shall place a completed application, submitted with all of the required supplementary information required per §153.353, on the next available Design Review Commission agenda. No application shall be placed on the Design Review Commission agenda for consideration until all of the required information has been submitted in sufficient time for staff analysis and review prior to the Design Review Commission meeting. After a completed application is placed upon the Design Review Commission agenda, the Commission shall, within a reasonable time thereafter, make a decision of approval, disapproval, or approval with conditions. The Design Review Commission shall utilize the evaluation criteria as described in this Specific Plan in making its recommendation.



- iii. Any decision of the Design Review Commission may be appealed to the City Council within the time and manner specified by § 153.004. The City Council may approve, deny or modify, in whole or in part, the action of the Design Review Commission.
- iv. Action by City Council. The City Council shall consider any appeal of a Design Review Commission action within 30 days of the filing of said appeal. The City Council may approve, deny or modify, in whole or in part, the action of the Design Review Commission. The City Council shall utilize the evaluation criteria specified in § 153.355 in making its decision.



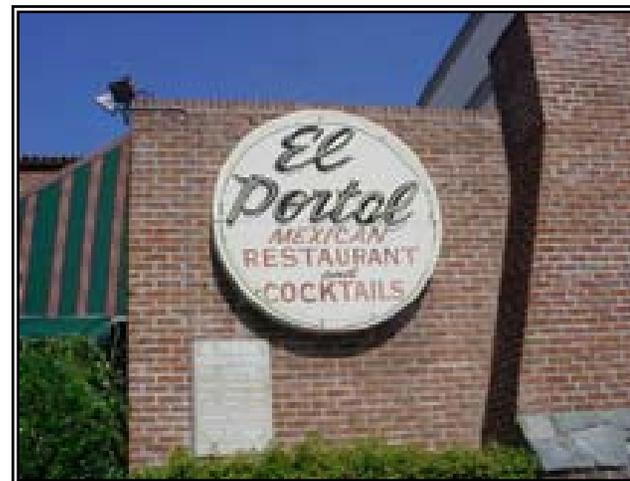
#### **7.4 DEVELOPMENT STANDARDS FOR SIGNS**

Standards listed below will guide property owners and developers to preserve and maintain the diversity of period architecture that gives the Mission District its unique character. Signs for period buildings of cultural value and non-contributing period buildings throughout the Mission District shall be designed to match the distinct architectural style of the building on which the signs will be located.

Signs on new buildings or rehabilitated non-contributing buildings located south of Broadway will be designed to match one of three architectural styles permitted in this area. These styles include Spanish Colonial, Mission Revival, and Spanish Colonial Revival. Signs on new buildings or rehabilitated non-contributing buildings located in the rest of the Mission District shall be designed in the contemporary manner.

##### **A. Wall Signs**

1. Only one building wall sign is permitted for each tenant, separate use or occupancy of a building, unless:
  - a. The tenant, separate use, or occupancy has frontage on more than one street, in which case one additional wall sign fronting on the side street will be permitted.
  - b. The tenant, separate use, or occupancy has its principal entrance facing on a parking lot, in which case it is permitted to have a wall sign on the side of the building facing on the parking lot, provided the total area of all signs is within the maximum permitted in division (A)(2) of this section.



**Wall Sign**



- c. The tenant, separate use, or occupancy has an entrance not facing on a parking lot or public thoroughfare, in which case one non-illuminated sign not to exceed three square feet in area shall be permitted, provided the total area of all signs is within the maximum permitted in division (A)(2) of this section.
  - d. The single tenant, use, or occupancy has more than 50 linear feet of frontage on a street or parking lot, in which case a second wall sign may be permitted upon approval of the Design Review Committee, provided all other provisions of this subchapter are complied with.
2. Maximum area for wall signs is 1.5 square feet for each linear foot of building frontage on a street, passage, or courtyard. Sign area is not transferable from any street frontage to any other frontage, passage, or courtyard in calculating permitted area. If the building has more than one frontage, the size of the sign shall be based on the frontage that contains the main entrance to the building.
  3. Wall signs shall be permitted only on sides of buildings fronting on streets, passages, or courtyards.
  4. Sign copy shall use period type face, design layout, scale of graphics, color palette and materials that match the architectural style of the building and shall be limited to the name of the business, the type of business, and street address.
  5. Signs shall be trimmed in period materials that are appropriate to the architectural style of the building.
  6. Canned signs are prohibited.
  7. Maximum projection of an attached wall sign shall be 12 inches.
  8. Lighting. Signs may be externally illuminated only. Visible external light fixtures shall match the building's architectural style. Discrete light sources that are not visible may be contemporary light fixtures.
    - a. Signs for Mission Revival style or Early 20<sup>th</sup> Century Commercial buildings may incorporate naked light bulbs that are arranged in the manner typical of the period.
    - b. Signs for Spanish Colonial Revival style buildings may incorporate neon lighting that is designed in the manner typical of the period.



**Wall Sign**



- c. Signs for 1940s and 1950s Modern and Vernacular style buildings may incorporate neon lighting or backlighting behind solid free-standing letters designed in the manner typical of the period.
- d. Signs for the 1960s Industrial and Commercial buildings may incorporate neon lighting or backlighting behind solid free standing letters designed in the manner of the period.

**B. Painted Wall Signs on Buildings**

- 1. Painted signs on eighteenth and early nineteenth Spanish Colonial buildings or new Spanish Colonial style buildings will be allowed with documentary evidence of appropriate period graphics and text.
- 2. Painted signs using the lettering style, size, and colors (maroon and tan) of the San Gabriel style will be considered on an individual basis.
- 3. Painted wall signs on Mission Revival, Early 20<sup>th</sup> Century Commercial Buildings, and Spanish Colonial Revival style buildings shall not exceed 1 ½ square feet for each linear foot of street, passage, or courtyard frontage. If the building has more than one frontage, the size of the sign shall be based on each street, passage, or courtyard frontage of the building. Only one painted wall sign shall be permitted on the street, passage, or courtyard frontage.
- 4. Signs must use the style of lettering, scale, design layout, scale of graphics, and color palette that match the architectural style of the building.
- 5. Signs must be designed and painted by a graphic artist or painter and painted on the wall surface.
- 6. No other wall sign shall be permitted on a wall with a painted wall sign.
- 7. The copy of the painted wall sign shall match the copy used on Mission Revival, Early 20<sup>th</sup> Century Commercial, Spanish Colonial Revival, 1940s and 1950s Modern, and 1960s Industrial painted wall signs.



**Window Sign**

**C. Window and Glazed Door Signs**

- 1. Window signs are permitted provided the total sign area shall not exceed 25% of the gross window and door area nor more than 30% of the area of any individual window or glazed door.



2. Window or glazed door signs shall be limited to indication of services or products offered by the business, business hours, emergency telephone number, and the word “OPEN.”
3. Copy style of lettering, layout, material, and color palette of signs on the window or glazed door signs must match the wall, projected, or suspended sign for the business and/or architectural style of the building.
4. Painted signs on the glass or glazed doors are permitted on Mission Revival, Early 20<sup>th</sup> Century Commercial, and Spanish Colonial Revival, 1940s and 1950s Modern, and 1960s Commercial and Industrial style buildings.
5. Painted signs on wood, sheet metal, glass panels, or printed signs on cardboard are permitted on Mission Revival, Early 20<sup>th</sup> Century Commercial, Spanish Colonial Revival, 1940s and 1950s Modern, and 1960s Commercial and Industrial style buildings.
6. Neon signs are permitted in windows of Spanish Colonial Revival and 1940s and 1950s Modern style buildings. Neon signs that blink or are animated are not permitted.
7. Window or glazed door signs with contemporary national brand names or advertising are not permitted. National brand logos are permitted but must be designed with lettering and style complementary to Mission Revival, Early 20<sup>th</sup> Century Commercial, Spanish Colonial Revival style, and 1940s and 1950s Modern style buildings. Each proposal will be considered on a case to case basis.
8. Signs within five feet of the interior of a storefront window shall be counted as a window sign.

**D. Under Canopy/Suspended Signs**

1. Suspended signs shall be permitted under archways, arcades, or other covered structures which are an integral architectural feature of a building. One suspended sign per business shall be permitted. A suspended sign is not permitted if the business has a painted wall sign.
2. Suspended signs shall be no larger than two feet in height and three feet in length. The bottom of the suspended sign shall be no less than eight feet above ground level or paving.
3. Suspended sign copy shall be limited to name of business, product, or service.



**Suspended Sign**



4. Suspended signs, hangers, supports, materials, lettering style, and color palette shall match the period of the Spanish Colonial, Mission Revival, Early 20<sup>th</sup> Century Commercial, or Spanish Colonial Revival style of the building.
5. An encroachment agreement between the property owner and City must be signed and recorded with the Los Angeles County Recorder's Office.

#### E. Monument Signs

Listed below are the different architectural styles and materials used for monument signs in the Mission District, including examples of existing buildings representative of each period. Appropriate materials and details are also described for each period.

- **Spanish Colonial Style Materials:** These are found at the San Gabriel Mission and include stone masonry, fired clay brick, and cement stucco that matches mud plaster, hewn timbers, and wrought iron. Light fixtures shall be wrought iron or sheet metal lanterns.
- **Mission Revival Style Materials:** These include river rock, cement plaster with a sand finish, cement plaster with a pebbledash finish, and cast stone block that match or are similar to those at 250 South Mission Drive. Light fixtures shall be limited to exposed light bulbs, traditional style cast bronze standards with glass (or materials that look like glass) lens, copper Arts and Craft style lanterns, and exposed light bulbs.
- **Spanish Colonial Revival Style:** These shall include cement stucco with a California or Spanish finish, standard bricks partially covered with cement stucco or painted white, Spanish Colonial tile, California art tile, wrought iron, finished wood with painted finish, and hewn wood with stain finish. Lighting fixtures shall include wrought iron or sheet metal.
- **1940s-1950s Modern Style:** Monument signs north of Broadway in front of new or rehabilitated non-contributing buildings will match the contemporary design of the building. The standards for design of the contemporary monuments will be the same as for the building.



Monument Sign

#### Regulations:

1. Monument signs are permitted if they meet all requirements of the *San Gabriel Municipal Code* Section 153.325(B) and do not exceed four feet in height.



2. Monument signs in front of buildings of cultural value or non-contributing period buildings shall match the architecture of the building.
3. Monument signs in front of new structures in the area south of Broadway shall be selected from one of the three periods of architecture. The graphics design, letters, color palette, and materials shall match the specific style of architecture for the monument.
4. The design elements from one period shall not be used with the design elements from another period.
5. Monument signs in front of new or rehabilitated non-contributing buildings in the area north of Broadway shall match the contemporary design of the building. The standards for design of the contemporary monuments shall be the same as for the building (See Section 7.2.1 Design Guidelines for Contemporary Architecture Styles).

**F. Projecting Signs**

1. Projecting signs shall not be less than eight feet above the surface over which it projects in pedestrian areas. Signs shall not project more than five feet into a public right-of-way and shall not project closer than two feet to a curb.
2. Projecting signs shall not project into an alley more than three feet and shall not be less than 14 feet above the alley surface where vehicles are allowed.
3. Projecting signs may have a maximum thickness of 18 inches.
4. Internally illuminated projecting signs shall have opaque face panels so that only the letters, number, symbols, or logos appear illuminated.
5. Projecting signs shall not be closer than 15 feet to another projecting sign or to a freestanding sign or five feet from an interior property line or line dividing two separate business frontages.
6. Projecting signs shall not project above an apparent eave or parapet, including the eave of a simulated mansard roof or hipped roof.
7. Projecting signs shall not be attached to the sloping face of mansard overhangs or other architectural devices intended to resemble or imitate roof structures.
8. Projecting signs may be mounted flush to a building wall if they do not damage or obscure architectural details or historic materials. In cases where a projecting sign may impact architectural details, historic materials, or similar elements, the sign shall be set away from the building wall so as not to impact such features.



**Matching Projecting Sign  
and Window Signs**



9. Projecting signs, hangers, supports, materials, lettering style, and color palette shall match the period of Spanish Colonial, Mission Revival, Early 20<sup>th</sup> Century Commercial, or Spanish Colonial Revival style of the building.
10. Projecting signs with contemporary national brand names or advertising are not permitted. National brand logos are permitted but must be designed with lettering and style complementary to Mission Revival, Early 20<sup>th</sup> Century Commercial, Spanish Colonial Revival style, and 1940s and 1950s modern style buildings. Each proposal will be considered on a case-to-case basis.
11. A projecting sign is not permitted if the business has a painted wall sign or suspended sign.
12. An encroachment agreement between the property owner and City must be signed and recorded with the Los Angeles County Recorder's Office.

**G. Signs on Architectural Projections at Street Level**

The following regulations apply to signs that are located on, attached to, or are an integral part of a projecting architectural feature located not more than 15 feet above street level. See illustration.

1. Signs may be erected on top of an architectural projection provided the sign is comprised of dimensional letters only that do not exceed 24 inches in height. No internal illumination is allowed.
2. Signs may be attached to the face of an architectural projection provided the sign does not exceed a maximum thickness of 10 inches as measured from the face of the sign to the outer face of the architectural projection and that the letters do not exceed a height of 24 inches. No internal illumination is allowed.
3. The maximum sign area for signs mounted on architectural projections shall be the same for other business identification signs identified in Section 7.3(A)(2).
4. Signs may be placed below and may be supported by an architectural projection provided the sign shall not exceed six feet in length and 16 inches in height. Internally illuminated signs shall be allowed. No exposed tubing or incandescent lamps are allowed. Signs shall not be less than eight feet above the sidewalk and shall be placed perpendicular to the face of the building.



**Projection Signs at  
Street Level**



5. An encroachment agreement between the property owner and City must be signed and recorded with the Los Angeles County Recorder's Office.

#### H. Portable Signs

1. One portable sign may be displayed per business.
2. A sign permit shall be obtained before any sign is placed in the public right-of-way per Municipal Code § 153.325 (S)(1).
3. Signs may not exceed a width of 2'-6". Sign height shall be limited to four feet as measured perpendicular from the sidewalk surface to the highest point of the sign.
4. Unless a permit has been obtained pursuant to Municipal Code § 153.325 (S)(1), portable sidewalk signs shall be placed only within the boundaries of the applicable business' street frontage.
5. Sidewalk portable signs may not reduce the sidewalk clearance below a width of thirty-six inches, impede any line of sight for motorists at vehicular public right-of-way intersections, or existing or entering driveways, as determined by the City Engineer, or interfere with persons entering or exiting parked cars.
6. Portable signs including banners may be not displayed from vehicles parked in front of or adjacent to the businesses, whether on public or private property.
7. The sign shall be stabilized so as to withstand wind gusts or shall be removed during windy conditions.
8. Signs shall be designed to incorporate colors, textures, and features of the building in front of which they are to be placed. Signs made of plywood, pressboard, or paper products are not permitted; signs made of metal, burnished wood, or other materials having a natural appearance are permitted.
9. Portable signs shall be removed from the sidewalk at the close of each business day.

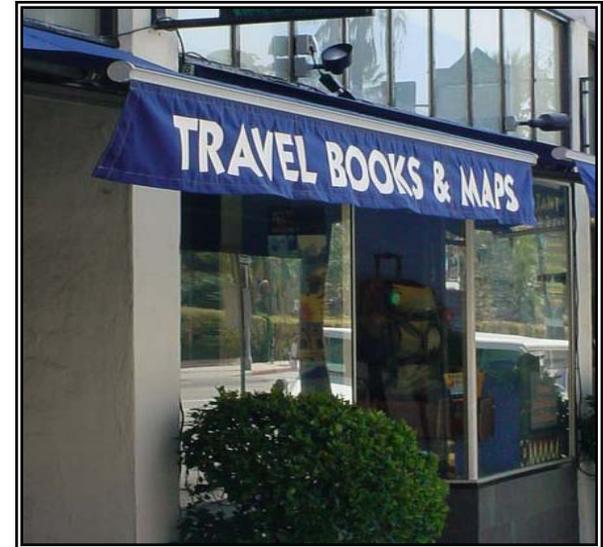


**Wall and Window Sign**



**I. Awning Signs**

1. Lettering shall be allowed on awning valances only and shall not exceed eight inches in height. Logos, symbols, and graphics that do not include text may be allowed on the shed (slope) portion of an awning and shall not exceed four square feet in area for each awning.
2. Lettering shall be located within the middle 70 percent of the valance area.
3. Only permanent signs that are an integral part of the awning or architectural projection shall be allowed. Temporary signs shall not be placed on awnings.
4. Awning signs shall only be allowed for first and second story occupancies.
5. Awnings shall not be lighted from under the awning (back-lit) so that the awning appears internally illuminated. Lighting directed downwards that does not illuminate the awning is allowed.
6. Awnings shall be regularly cleaned and kept free of dust and visible defects.
7. An encroachment agreement between the property owner and City must be signed and recorded with the Los Angeles County Recorder's Office.



Awning Sign

- J. Other Signs** All other signs that are not described herewith shall comply with the provisions of the Municipal Code § 153.320 to 135.333.

**7.4.1 Sign Permit Review Process**

- A. A sign permit shall be obtained prior to the painting, erecting, constructing, reconstructing, relocating or altering of any sign or sign copy, for all signs other than, those prohibited per Municipal Code § 153.328 and those specifically exempt per Municipal Code § 153.327. Building permits and/or electrical permits shall also be obtained in accordance with the Building and/or Electrical Code.
- B. Application for a sign permit shall be made to the Community Development Department on forms provided and shall be accompanied by three complete sets of the following material:
  1. Site plan. Dimensioned, scaled site plan at a scale of not less than 1/8" = 1', indicating the location of existing signs to be retained and all new signs; and



2. Building elevations. Scaled drawing at a scale of not less than 1/8" = 1", indicating locations of all existing signs to be retained or removed and locations of proposed signs;
  3. Sign illustration. Scaled drawing at a scale of not less than 1/8" = 1', indicating dimensions, colors, material, copy, illumination, and exterior structural features of each sign on the site;
  4. Color photographs. Color photographs of the building facade(s) of the building or unit where the sign(s) are proposed to be located, except in any new construction. Photographs shall also be submitted after the sign(s) have been installed and before the permit is finalized.
  5. Change of sign copy. For a change of sign copy, only a sign illustration shall be required.
  6. Other information. Such other information as the Community Development Director may be required to determine compliance with this subchapter.
- C. Review of and action on sign permit applications
1. Wall Signs, Window or Door Signs, Suspended Signs, and Monument Signs. In consultation with the City Preservation Architect, the Planning Division shall review sign permit applications for all wall signs, window or door signs, suspended signs, and monument signs. The application will be reviewed for compliance with the provisions of this Specific Plan and the sign permit application will be approved, conditionally approved, or denied. Approval of the sign permit application does not imply approval by the Building Division of a building permit for the sign(s). For any development project requiring a variance, conditional use permit, precise plan of design, or other discretionary approval by the Design Review Committee, the Planning Commission or the City Council, the sign permit application, if appropriate, shall be reviewed and approved, conditionally approved or disapproved by such body in conjunction with such consideration.
  2. Painted Wall Signs. Painted wall signs shall be permitted upon review and approval of the Design Review Committee. All applications for a painted wall sign shall include a rendering by a graphic or other professional artist. Application of a painted wall sign shall be by direct transfer from a 1:1 scale rendering of the approved advertising display copy.

**Sign Permit Check List**

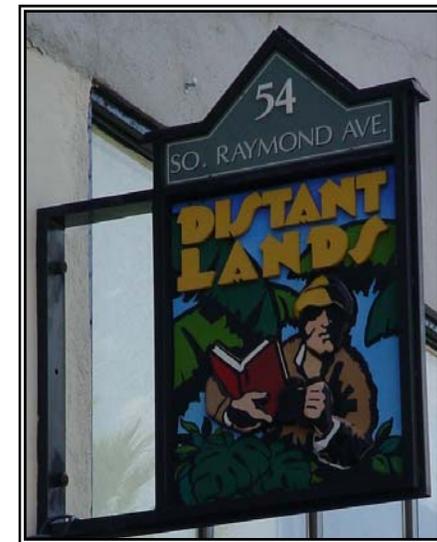
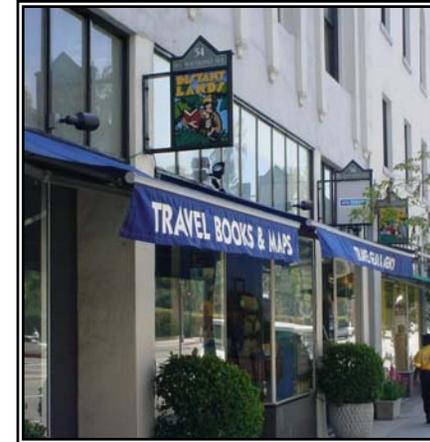
- Application
- Site plan
- Building elevations
- Color Sign illustrations
- Color photographs of building



- D. Appeals: Any decision of the Community Development Director, staff or the Design Review Commission made pursuant to this subchapter on signs may be appealed directly to the City Council within the time and in the manner as set forth in § 153.004 of this Code.
- E. Time for exercising sign permit: A sign permit shall expire and become null and void if the work authorized by such sign permit has not commenced within 180 days of the date of issuance of the sign permit.
- F. Building permit required. In addition to a sign permit issued by the Community Development Department, a building permit shall be obtained when required under the Building Code.
- G. Fees. City Council may adopt fees by resolution for permit applications.

#### 7.4.2 Master Sign Plan

- A. Master sign plan. All master sign plans for new commercial centers, complexes or parks which contain two or more individual establishments on a single parcel or group of parcels with a single common development or under single ownership or a single tax parcel; or for existing commercial industrial centers, complexes or parks as of November 9, 1993 which contain six or more individual establishments on a single parcel or group of parcels with a single common development or under single ownership or a single tax parcel shall be submitted to the Community Development Department for review and approval according to the application and review processes contained herewith.
- B. Approving body.
  - 1. The master sign plan shall be approved by the Community Development Director or designee for developments over which the director has approval for the precise plan of design pursuant to § 153.354(a) of the Municipal Code.
  - 2. The master sign plan shall be approved by the Design Review Commission for developments over which the Commission has approval for the precise plan of design



**Projecting and Awning Signs**



pursuant to § 153.354(b) of this code.

- C. Criteria. The following criteria shall be applied in determining whether the master sign plan should be approved:
1. Compatibility with the design motif of buildings in the complex, center, park, lot or parcel;
  2. Incorporation of common design elements such as type of sign, materials, letter style, colors, illumination, size location and/or shape;
  3. Promotion of unity and continuity and prevention of unsightly clutter and disarray within the complex, center, park, lot or parcel;
  4. Compliance with the requirements of the zoning code and the general plan; and
  5. Consideration of whether the plan constitutes a hazard to the public health and safety and a hazard to vehicular or pedestrian circulation.
- D. Applications for master sign plans shall contain the information set forth below. No master sign plan application shall be accepted as complete until all of the application contents are filed with the Community Development Department.
1. Detailed, scaled drawings of all of the proposed signs for the lot or parcel, including elevations. At least one set of the drawings shall be in full color, depicting the actual colors to be utilized.
  2. Specification of the materials, colors, letter height and style, illumination and method of attachment for each sign which shall be accompanied by a board containing examples of the materials and colors to be utilized.
  3. A color photograph of the existing building facade shall also accompany applications for existing buildings.

### **7.4.3 Abatement Of Signs**

- A. Illegal and/or abandoned signs. Any illegal or abandoned advertising display or advertising structure shall be abated, without compensation, pursuant to the procedure set forth in Cal. Bus. & Prof. Code §§ 5499.1 et seq.



- B. Legal nonconforming signs. Any legal nonconforming sign shall be removed, without compensation, if the sign meets any of the following criteria:
1. Any advertising display which has been more than 50% destroyed, and the destruction is other than facial copy replacement, and the display is not repaired within 30 days of the date of its destruction;
  2. Any advertising display whose owner, outside of a change of copy, requests permission to remodel, and remodels that advertising display; or expands or enlarges the building or intensifies land use upon which the advertising display is located, and the display is affected by the construction, enlargement, or remodeling, or the cost of construction, enlargement, or remodeling of the advertising display exceeds 50% of the cost of reconstruction of the building;
  3. Any advertising display whose owner seeks relocation thereof and relocates the advertising display;
  4. Any advertising display which is temporary;
  5. Any advertising display for which there has been an agreement between the advertising display owner and the City, for its removal as of any given date;
  6. Any advertising display which is or may become a danger to the public or is unsafe.



**Abandoned Sign**

- C. Removal of nonconforming signs: All other nonconforming signs, first made nonconforming by the adoption of this chapter shall be removed or made to conform upon change of business occupancy or within 10 years from the effective date of this subchapter.
- D. Extension of time: Any sign owner, whether a sign user or a sign lessor or lessee, may seek an extension of time from the otherwise applicable amortization schedule pursuant to the provisions of § 153.332 of the San Gabriel Municipal Code.



**7.4.4 Revocation:** The Community Development Director or designee may revoke any sign permit issued pursuant to this section if the applicant/owner fails to comply with the requirements of these sections or with any conditions of approval. Prior to revoking the permit, the Director or designee shall provide to the applicant/owner written notice of non-compliance. The applicant/owner shall have a right to appeal the notice of revocation to the City Council pursuant to § 153.004 of the San Gabriel Municipal Code.



**HISTORICAL ARCHITECTURAL REFERENCES**

**Spanish Colonial**

Title: Spanish Colonial or Adobe Architecture of California 1800-1850

Authors: Donald R. Hannaford and Revel Edwards

Publishing Place: New York City:  
Architectural Book Publishing Company  
Date: 1991

Title: The Franciscan Mission Architecture of Alta California

Author: Rexford Newcomb  
Publishing Place: Mineola, New York: Dover Publications, Inc.  
Date: 1973

**Mission Revival**

Title: California's Mission Revival

Author: Karen J. Weitze  
Publishing Place: Santa Monica, California:  
Hennesey and Ingalls, Inc.  
Date: 1984



**Spanish Colonial Revival**

Title: Casa California, Spanish Houses from Santa Barbara to San Clemente

Author: Elizabeth McMillian  
Publishing Place: New York City: Rizzoli  
Date: 1996

Title: Californian Architecture in Santa Barbara

Author: Phillip H. Staats  
Publishing Place: New York City:  
Architectural Book Publishing Company, Inc.  
Date: 1990

Title: California Colonial, The Spanish and Rancho Revival

Author: Elizabeth McMillian  
Publishing Place: Atglen, Pennsylvania: A Schiffer Design Book  
Date: 2002.

Title: Red Tile Style, America's Spanish Revival Architecture

Author: Arrol Gellner  
Publishing Place: New York City: Viking Studio  
Date: 2002



## Heart and ‘Sole’

Circulation involves the flow of goods, people, and information throughout an area, whether that be an area as small as a neighborhood, an area encompassed by the boundaries of a town, or the vast area of a metropolis or region. Circulation might also cross boundaries as it occurs between various locales, both near and far. Consider the arrival of Juan Bautista de Anza’s party on March 22, 1774. This established the first land link of California with Mexico City, and the San Gabriel Mission became the chief point of contact with Mexico. Goods, people, and information were transported along this trail. On a smaller scale, consider *The Grapevine*, a newsletter that is published each quarter in the City of San Gabriel, allowing the flow of information to pass between the City Hall and local residents and entrepreneurs. Each of these is an example of circulation.



Circulation, as considered by urban planners, however, generally involves the flow of traffic, whether by foot, automobile, truck, rail, or bicycle, as it passes within a city or region. Obviously, an efficient flow of traffic is essential in order to allow residents, clients, and customers to reach their destinations in the minimum amount of time, to allow products to reach the market in time to meet the customers’ demands, and to allow emergency vehicles to reach their destinations in time to save lives. Cities must face the challenge of efficiently moving masses of people and goods. They must also consider the circulation of public utilities, such as water, sewerage, and storm run-off.



### **OBJECTIVES**

In regards to circulation within the Mission District, the City of San Gabriel has the following objectives:

- Promote shared parking on lots with different parking demand patterns.
- Encourage joint venture parking.
- Maximize on-site parking.
- Develop secondary parking areas and re-striping.
- Provide additional on-street parking along Mission Drive.
- Establish a special event-parking plan.
- Provide infrastructure for the future

The street layout for the Mission District is irregular with straight and curvilinear streets traversing the District in multiple directions. The major roadways that cross the District include Mission Road, Junipero Serra Drive, Las Tunas Drive, Mission Drive, Broadway, and Santa Anita Street. Las Tunas Drive serves as the District's northern boundary and functions as a major east-west arterial. Mission Road, which also serves as a major east-west arterial, crosses the southern portion of the District. Mission Drive and Santa Anita Street cross the District diagonally, intersecting at the Mission District core. Two major highways, Interstate-10 and Interstate-210, provide regional access to the Mission District.

### **CURRENT TRAFFIC CONDITIONS**

Mission Drive serves as arterial highway for north/south vehicles coming from or going to Interstate-10. There is heavy queuing at Mission Drive, Santa Anita Street, and Mission Road. This queue is further impacted by the delay of the railroad. When traffic is stopped by the train, the queue at Mission Drive and Mission Road extends past the Mission Drive-Santa Anita Street intersection. This queue makes the use of on-street parking along Mission Drive between Mission Road and Santa Anita Street undesirable as cars are unable to back out of the parking spaces. Mission Drive north of Broadway was improved to a four-lane roadway with a landscaped raised median and no on-street parking. However, traffic levels, apparently, did not warrant this increased capacity since the result has been

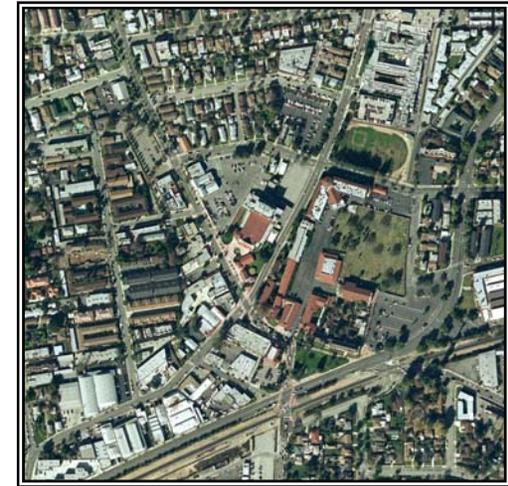


increased speed along this road segment.



**8.1 Traffic Improvement Opportunities:** There are a number of potential design, access, and signalization improvements for the Mission District Specific Plan project area. These possible improvements, as depicted in **Exhibit 8.1: Circulation Improvements**, include the following:

- 8.1.1 Signal Timing Adjustments:** The timing of the signals along Mission Drive from Mission Road to Las Tunas should be adjusted for optimum signal phasing to improve the queue at Mission Drive and Mission Road. Future railroad improvements to establish a grade-separated crossing at Ramona will address the queue from vehicles blocked by the train.
- 8.1.2 Signal Modifications:** The intersections of Mission Drive at Broadway and at Santa Anita should be modified to allow for full signal actuation in all directions. The use of additional vehicle detection loops or video cameras detection units will help the traffic flow.
- 8.1.3 Reduction in Design Speeds:** Mission Drive between Broadway and Padilla Street should be changed to a two-lane roadway with on-street parking which would accommodate the projected capacity of this segment of road. With a two-lane roadway, additional parking could be accommodated for the adjacent residential community and would deter “cut-through” traffic.
- 8.1.4 Secondary Access Improvements:** The Auditorium access from Mission Drive should be closed to allow for a safe drop-off zone without vehicle and pedestrian conflicts. The entrance to the parking access should be on Broadway. Parking directional signs will need to be implemented to show people where to access the parking. This will also introduce additional on-street parking.
- 8.1.5 Coordination of Future Intersection Improvements:** Additional improvements might be made to intersections as a result of the railroad-lowering project.





**CURRENT PARKING CONDITIONS**

Weekend programs at the Civic Auditorium and services at the San Gabriel Mission result in significant peaks in localized parking demand. Each weekend evening about 7:00, parking occupancy near the Civic Auditorium is at a peak with some parking areas filled to capacity. On Sunday mornings, the parking areas near the San Gabriel Mission experience a peak during church services. Parking data indicates adequate parking supply during the peak periods to meet the overall needs of the Mission District. Approximately 36% to 50% of available parking space is used within the Mission District during the peak demand. Current parking conditions are shown in **Exhibit 8.2: Existing Parking Conditions**.



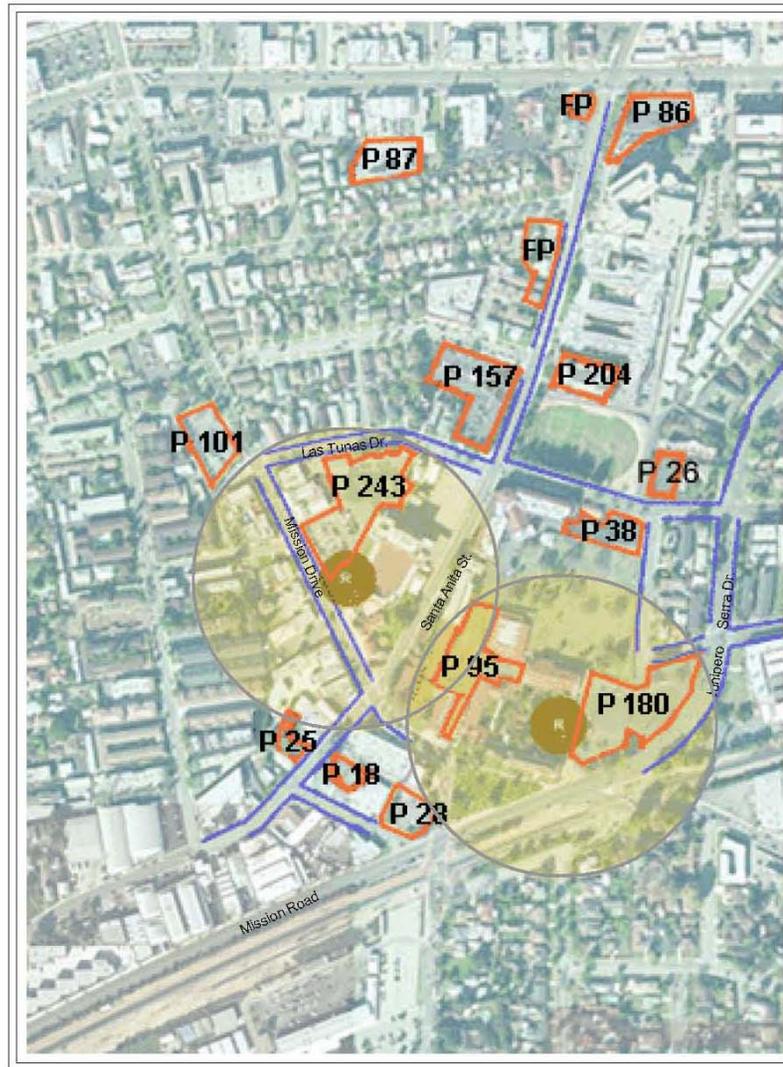
Sufficient parking supply is available during Sunday morning peak use (35% to 45% parking demand) when accounting for the available off-site parking locations within the Mission District. On Sunday mornings, the parking areas near the San Gabriel Mission experience an overflow during the 9:30 a.m. service. As parishioners typically show up within a 15-minute period before the service starts, the availability of parking spaces which are convenient or available during peak parking demand is reduced. This results in parishioners parking their vehicles illegally. Overflow on-street parking is available on Mission Road and on Junipero Place. In addition, parking is available at the basketball court located just east of the two churches. Access to the basketball parking lot consists of a gated driveway along Junipero Place. On-street parking along Santa Anita Street west of Mission Drive is full at 9:30 a.m. and 11:00 a.m. Santa Anita Street east of Mission Drive does not allow on-street parking due to the narrow roadway width.

**8.2 Recommended Parking Improvements**

Mixed-use developments will be allowed in the Mission District Village, Market Place, Mill zones. With mixed-use developments, the peak demand of the uses is varied so that the corresponding peak parking demands of the majority of activities do not occur simultaneously. Mixed-use development requires a reduced number of parking spaces needed to serve peak activity periods within the district as a whole. Hourly, daily, and seasonal differences in the peak parking demand for various land uses in a mixed-use district make shared parking possible. **Exhibit 8.3: Parking Opportunities** and **Exhibit 8.4: Parking Improvements** depict the potential parking improvements, including additional on-street parking, shared parking opportunities, and opportunities for over-flow parking.



**EXHIBIT 8.2 ~ EXISTING PARKING CONDITIONS**



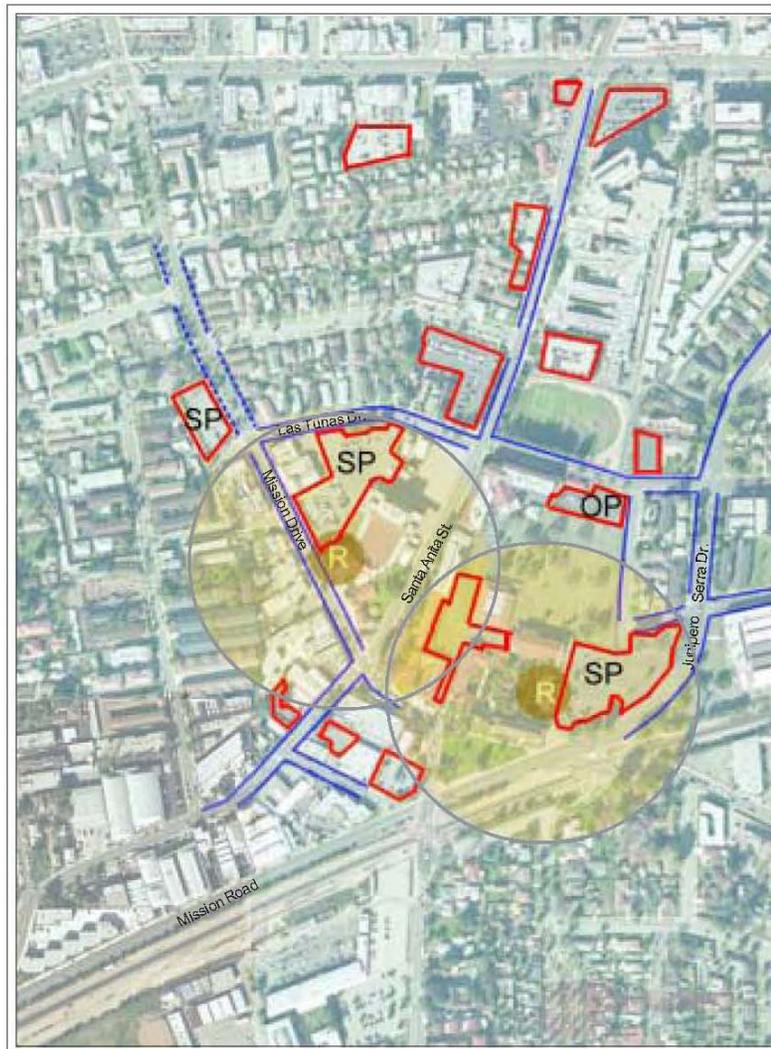
**Existing Parking Conditions**

**LEGEND**

- P(XX)** Parking Areas & Available Spaces
- R** Parking Accessibility 500' Radius
- On-Street Parking
- FP** Future Parking



**EXHIBIT 8.3 ~ PARKING OPPORTUNITIES**



**Parking Opportunities**

**LEGEND**

-  Parking Areas
-  Parking Accessibility 500' Radius
-  On-Street Parking
-  Potential On-Street Parking
- SP** Shared Parking
- OP** Over-Flow Parking

↑  
North





**8.2.1 Shared Parking:** Shared parking may be applied when land uses have different parking demand patterns and, thus, are able to use the same parking areas throughout the day. Shared parking is most effective when these land uses have significantly different peak parking characteristics that vary by time of day, day of week, and/or season. In these situations, shared parking strategies will result in fewer total parking spaces being needed compared to the total number of spaces needed for each land use or business separately. Sharing parking spaces could potentially allow 15-40% more users than if each motorist were assigned a particular space.

Shared parking is often inherent in mixed-use developments, which include one or more businesses that are complementary, ancillary, or support other activities. General parking lots and/or on-street parking that are available for patrons of nearby business districts is another form of shared parking. The larger and more diverse the uses, the more efficiently parking can be shared. Due to the staggered demand for use, public parking facilities, including on-street parking spaces, can usually be shared efficiently by drivers heading to various destinations.

**Application of Shared Parking in the Mission District Specific Plan Area**

The opportunity to implement shared parking in the Mission District is derived from the result of two conditions:

- Variations in the peak accumulation of parked vehicles as the result of different activity patterns of adjacent or nearby land uses (i.e., the peak use for church is on Sunday morning whereas retail peak use would be weekdays or weekend afternoons).
- Relationships among land use activities that result in peoples' attraction to two or more land uses on a single auto trip to a given area or development (i.e., single trip for retail and restaurant use).

Currently, the primary uses within the Mission District are institutional and entertainment (i.e., auditorium). Thus, the balance of non-residential uses, such as retail, restaurants and office, operate at an alternative peak, providing opportunity for shared parking conditions. The current shared parking opportunities include the following:



**Weekday Afternoon/Evenings - Retail, Restaurant and Office Uses**

52 on-street + 18 public parking spaces available

- Shared Parking at the Church main parking lot - 180 Spaces
- Shared Parking at the Auditorium parking lot - 243 Spaces
- **Total Off-site Parking Opportunity: 423 parking spaces**

**Weekend (*Sunday Morning*) - Church Uses**

180 on-site parking spaces

- Shared Parking at the City Hall parking lot - 28 Spaces
- Over-flow Parking at School Play Ground - 38 Spaces
- Over-flow Parking at Auditorium parking lot - 243 Spaces
- Eliminate time restricted parking along Mission Drive - 52 Spaces
- **Total Off-site Parking Opportunity: 361 parking spaces**

**Special Events - Auditorium Use**

243 on-site parking spaces

- Shared Parking at the Church main parking lot - 180 Spaces
- Shared Parking at the Park-and-Ride Lot, evening only – 101 Spaces
- Over-flow Parking at School Play Ground - 38 Spaces
- **Total Off-site Parking Opportunity: 319 parking spaces**

The existing public parking facility on Alanmay Avenue is not a recommended shared parking opportunity, as it is considered undesirable given its location and safety issues as a non-visible parking lot.

Applicants for new developments or redevelopment of buildings or additions over 2,500 square feet shall be examined for the feasibility of using shared parking arrangements.

- Shared parking arrangements shall be considered when the number of parking spaces requested by the applicant is 10% higher than the existing parking and/or 10% more



than the minimum number of parking spaces required.

- Factors evaluated to establish shared parking arrangements should include operating hours, seasonal/daily peaks in parking demand, site orientation to adjacent parking, transit opportunities, pedestrian connections, distance from adjacent parking areas, and cooperation with adjacent owners.

**Calculation of Parking Spaces Required with Shared Parking:** The maximum number of parking spaces for a mixed-use development or where shared parking strategies are proposed shall be determined by a study prepared by the applicant following the procedures of the Urban Land Institute Shared Parking Report, ITE Shared Parking Guidelines, or other guidelines as approved by the Director of Community Development. A formal parking study may be waived for small developments where there is established experience with the land use mix and its impact is expected to be minimal.

**Ancillary Uses:** For uses that are considered ancillary to a larger business, no additional parking may be required. These uses might include, but are not limited to, coffee shops, snack shop, and a copy/package shop adjacent to offices. Parking requirements for similar ancillary uses may be reduced to account for cross patronage among the adjacent uses located within 800 feet. The parking requirements for these ancillary uses may be reduced as appropriate.

**Reciprocal Agreement between Sharing Property Owners:** If a privately owned parking facility is to serve two or more separate properties, a legal agreement between property owners guaranteeing access to, use of, and management of designated spaces is required.

#### **Shared Parking Plan**

- A shared parking plan must include a site plan of parking intended to serve the use with the proximity to the uses based on pedestrian routes of travel.
- A shared parking plan shall also include a signage plan that directs drivers to the available parking.
- A shared parking plan shall also address accessibility, safety and security, including lighting and maintenance.





**8.2.2 Parking Demand Strategies:** The Mission District is limited in the ability to supply new surface-parking facilities. Therefore, substantial effort must be made to reduce demand for parking within the project area. Within mixed-use developments, it is important to recognize the interrelationship between uses and the potential for reduction in parking demand. The following strategies are mixed-use parking management strategies, as outlined in **Table 8.1**, which will be evaluated with new developments or renovation projects within the Mission District.

**TABLE 8.1 ~ PARKING MANAGEMENT STRATEGIES**

PARKING STRATEGIES	DESCRIPTIONS	POTENTIAL PARKING DEMAND REDUCTION
<b>Shared Parking</b>	Share parking facilities among a group of users, rather than assigning each an individual space.	15-40%
<b>Site Specific Parking Rate</b>	Reduce minimum parking requirements at sites with lower parking demand based on observed parking demand.	10-30%
<b>Spillover Management</b>	Use management, pricing, and enforcement strategies to address spillover problems.	(Regulates use)
<b>Overflow Parking Plans</b>	Use overflow parking plans, rather than excessive supply, to address occasional events.	(Regulates use)
<b>Parking Maximums</b>	Limit maximum parking supply to avoid unbalanced parking supply.	5-10%
<b>Decoupling Residential Parking</b>	Rent parking spaces separately to provide monthly savings for a household that owns one vehicle or less.	5-10%
<b>Parking Facility Design</b>	Promote parking lot plans that maximize off-street parking.	5-10%
<b>In Lieu Fees</b>	Use developer fees to fund public parking instead of requiring individual facilities to provide off-street parking.	N/A
<b>Valet Parking Services</b>	Use of valet parking for premium users, such as retail, restaurant, & Civic Auditorium patrons.	N/A



**8.2.3 Geographic Considerations Related to Parking:** Parking requirements and management practices tend to vary depending on land use and geographic conditions. Parking management involves making the most convenient parking spaces available to priority uses. Parking facilities must be located near destinations. Exactly how near depends on the type of land use and the type of user. Acceptable walking distance is also affected by the quality of the pedestrian environment, climate, line of site and friction (barriers along the way, such as crossing busy traffic). The closer shared spaces are to the land uses they serve, the more likely the arrangement will be successful. See **Table 8.2:** below for acceptable walking distances.

**TABLE 8.2 ~ ACCEPTABLE WALKING DISTANCES**

<b>Adjacent</b> <i>(Less than 100 feet)</i>	<b>Short</b> <i>(Less than 800 feet)</i>	<b>Medium</b> <i>(Less than 1,200 feet)</i>	<b>Long</b> <i>(Less than 1,600 feet)</i>
<ul style="list-style-type: none"> <li>• Convenience Stores</li> <li>• Deliveries &amp; Loading</li> <li>• Emergency Services</li> <li>• People with disabilities</li> </ul>	<ul style="list-style-type: none"> <li>• Grocery Stores</li> <li>• Medical Clinics</li> <li>• Professional services</li> <li>• Residents</li> </ul>	<ul style="list-style-type: none"> <li>• Employees</li> <li>• Entertainment Centers</li> <li>• General Retail</li> <li>• Institutions</li> <li>• Restaurants</li> </ul>	<ul style="list-style-type: none"> <li>• Major Cultural Events</li> <li>• Major Sporting Events</li> <li>• Overflow Parking</li> </ul>

To improve circulation and promote pedestrian traffic along Mission Drive, it is recommended that secondary access drives along Mission Drive be eliminated. Emphasis within the Mission District should be given to the pedestrian to promote accessibility to multiple uses with minimal vehicle obstructions.



**8.2.4 Site-Related Circulation Considerations:** Directional signing, which is important in all parking facilities and is necessary for the efficient functioning of shared parking, should include the following:

- Internal signs that direct drivers to various parking areas serving specific land uses.
- Internal signs that direct drivers to available parking spaces. In more complex facilities,



areas with vacant spaces need to be identified.

- Signs at exits need to give directions to the streets surrounding the site.
- Information needs to direct drivers to and from their destinations. Graphics and color-coding are most effective in guiding pedestrians after they leave their vehicles.

Pedestrian links between parking facilities and destinations must also be carefully planned. Higher parking occupancies are not a deterrent to patrons as long as adequate parking spaces are well located and easy to find. In shared parking facilities, particularly in parking structures where drivers need to reach different destinations in a mixed-use complex, the pedestrian links must be carefully planned. Consideration in providing desirable pedestrian links for shared parking facilities include signing, safety and security, an attractive environment, lighting, and customer pathways that are as short and direct as possible.



**8.2.5 Special Event Parking Plan:** Along with well-signed parking facilities and clear pedestrian connections, both the San Gabriel Mission and Civic Auditorium should establish special event parking and circulation plans to address parking use beyond the available on-site parking. Such plans should include the following:

- Define anticipated inbound and outbound circulation.
- Determine the amount of off-site parking required.
- Locate off-site parking facilities as appropriate.
- Identify location of parking guides to help facilitate parking in appropriate locations.
- Provide educational materials prior to the event that identify the location of off-site parking facilities.
- Determine the need for a shuttle program to and from off-site parking facilities.



**8.2.6 Parking Design:** Parking opportunities could also be increased at the church and auditorium on-site parking lots by redesigning the parking to optimize the parking spaces



and to provide clear directional traffic patterns. Recommended parking sizes are compact 8-foot by 15-foot and long-term parking spaces (9-foot by 20-foot) for multi-family residential.

### **INFRASTRUCTURE CIRCULATION**

#### **8.3 Wastewater**

Residents give little thought to wastewater. As long as the water swooshes down the drain, its disposal is taken for granted. However, a great infrastructure transports that water through sewer lines to a reclamation plant. The County Sanitation Districts of Los Angeles County provide regional sanitary sewer services to the Plan Area. Costs for facilities expansion are recovered through connection fees, which are placed into a capital improvement fund. The Los Angeles County District bases its facilities' plans on regional forecasts by the Southern California Association of Governments (SCAG) and the Los Angeles County Department of Regional Planning.

The Plan Area is located within the jurisdictional boundaries of District No. 2. The District's Allen Avenue Trunk Sewer, Sections 1, 2, 3, and 4 located along Santa Anita Street, Mission Drive, and Ramona Street from Las Tunas Drive to Grand Avenue, serves the majority of the Plan Area. This 16- to 21-inch diameter trunk sewer has a design capacity of 5.1 to 10.8 million gallons per day (mgd) and conveyed a peak flow of 1.5 mgd when last measured in 2002. A small portion of the Plan Area is served by the District's JOA-1A San Jose Creek WRP Interceptor Trunk Sewer, located along San Marino Avenue from Las Tunas Drive to Broadway. This 21- to 30-inch diameter trunk sewer has a design capacity of 13.1 to 14.5 mgd and conveyed a peak flow of 13.1 mgd when last measured in 2000.

Wastewater generated in the Plan Area is treated at the Whittier Narrows Water Reclamation Plant (WRP) located near the City of South El Monte, at the Los Coyotes Water Reclamation Plant located in the City of Cerritos, or at the San Jose Creek Water Reclamation Plant adjacent to the City of Industry. **Table 8.3** shows their design capacity and the current average flow at these plants.



**TABLE 8.3 ~ RECLAMATION PLANT CAPACITY AND FLOW LEVELS**

RECLAMATION PLANT	DESIGN CAPACITY	CURRENT AVERAGE FLOW
Whittier Narrows	15 mgd	7.9 mgd
Los Coyotes	37.5 mgd	30.5 mgd
San Jose Creek	100 mgd	88mgd

mgd = million gallons per day

The City of San Gabriel Public Works Division maintains the local sewage collection system. The Public Works Division operates an on-going inspection and maintenance program to identify line problems and to clean and repair manholes.

Large portions of the City’s sewer system are 50 to 75 years old. The age of the pipes coupled with small pipes is cause for concern. There have been isolated failures of the sewer system in the recent past. To identify the areas in greatest need of repair, a master plan of drainage issues is needed in order to provide suggested solutions to the City’s sewer problems.

The City Engineer has proposed funding the preparation of a citywide master sewer study and plan that identifies deficiencies and makes recommendations for improvements in the system. The sewer study will (1) assist the City in better identifying the problem areas, (2) provide a recommendation to correct the deficiency, and (3) estimate the costs to address all of the deficiencies which will enable the City to plan for the needs in its capital improvement fund.

Implementation of the Specific Plan, which includes increased density of multi-family and mixed-use development, will further strain the sewer infrastructure. The implementation of the proposed Specific Plan is estimated to increase average wastewater flow by approximately 180,000 gallons per day. Wastewater generated from the Plan Area will be treated at the Whittier Narrows Water Reclamation Plant or at the Los Coyotes Water



Reclamation Plant. Current average flow rates in these facilities are currently below design capacities as indicated above.



**8.3.1 Wastewater Facilities Improvements:** City and District wastewater facilities, including the trunk sewer system and treatment plants, are adequate for present needs and will be expanded, as needed, to accommodate future growth. All expansion of district facilities must be sized and service phased in a manner that is consistent with the SCAG regional growth forecast for the counties of Los Angeles, Orange, San Bernardino, Riverside, Ventura and Imperial. The available capacity of the District's facilities will, therefore, be limited to levels associated with the approved growth identified by SCAG. An evaluation of impacts on wastewater systems and associated infrastructure shall be included for future development applications in the Plan Area.



**8.3.2 Sewer Connections:** Future development projects in the Plan Area would pay a fee to the City and/or District for the privilege of connecting (directly or indirectly) to the sewerage system or for increasing the existing strength and/or quantity of wastewater attributable to a particular parcel or operation already connected. This connection fee is required to construct an incremental expansion of the sewerage system to accommodate future development; this would mitigate the impacts of future development on the present sewerage system. Payment of a connection fee would be required before a permit to connect to the sewer is issued. Future development will also be responsible for paying a sewer impact fee based on the type of development.

#### **8.4 Water**

Of major concern in Southern California is the availability of water to serve the current and rapidly growing population. Before any approval for housing developments can take place, especially when considering density increases that accompany multi-family units, water availability must be considered.

Five private purveyors make up the City of San Gabriel supply system. The five purveyors receive at least a portion of their water supply, via water replenishment, from the Upper San Gabriel Valley Municipal Water District. The five purveyors include the San Gabriel County Water District (SGCWD), California American Water Company (CAWC), Southern



California Water Company, Sunnyslope Water Company and San Gabriel Valley Water Company. **Exhibit 8.5** illustrates the service boundaries of the water purveyors in the Mission District.

San Gabriel County Water District supplies nearly 70 percent of the City of San Gabriel with its water supply. Currently, the water district has approximately 8,800 existing connections to its water distribution system. The District last updated its water management plan in 2000, which did not include the proposed Mission District Specific Plan project. However, according to the water district, their water supplies and facilities are adequate for present needs and can be expected to meet future supply needs.

However, isolated spots exist in the system where fire flow standards cannot be met, due to line sizes that were designed for the original single-family neighborhoods. These lines cannot provide sufficient fire flows in areas that have undergone significant intensification to higher density with multi-family development. Developers in these areas are required to upgrade the local water main or to provide other fire suppression techniques, such as on-site hydrants and building sprinklers, which meet Fire Department standards.

The City also receives a percentage of its water from the Metropolitan Water District (MWD). Currently, the San Gabriel County Water District (SGCWD) does not have a source connection to import water from the MWD; however, the California American Water Company (CAWC) does have a connection to MWD water sources. The sources for the MWD include the Colorado River, the Sacramento Delta, the Central Valley, and groundwater sources throughout the State. The Report on Metropolitan's Water Supplies, published in February of 2002 by the MWD, states that the MWD sets its demand projections for water 7 to 11 percent higher than the projections its member agencies provide. This gives the Metropolitan Water District a margin of safety in projecting water demand. The Report also states that current practices of the MWD will bring water supplies online ten years before the demand will meet supply, giving the water system a "very high degree of reliability."

With implementation of the Specific Plan, the demand for water infrastructure that is attributable to the Plan Area would increase beyond existing conditions Water Management



Plans are updated periodically in order to maintain water reliability and to incorporate the changes in water use patterns, as well as other changes in the water system. Management Plans typically identify new facility needs in addition to identifying the need for replacement or refurbishment of existing facilities. Management Plans also consider population growth, increases in density, changes in land uses, and identifiable regulatory change that may impact facility needs

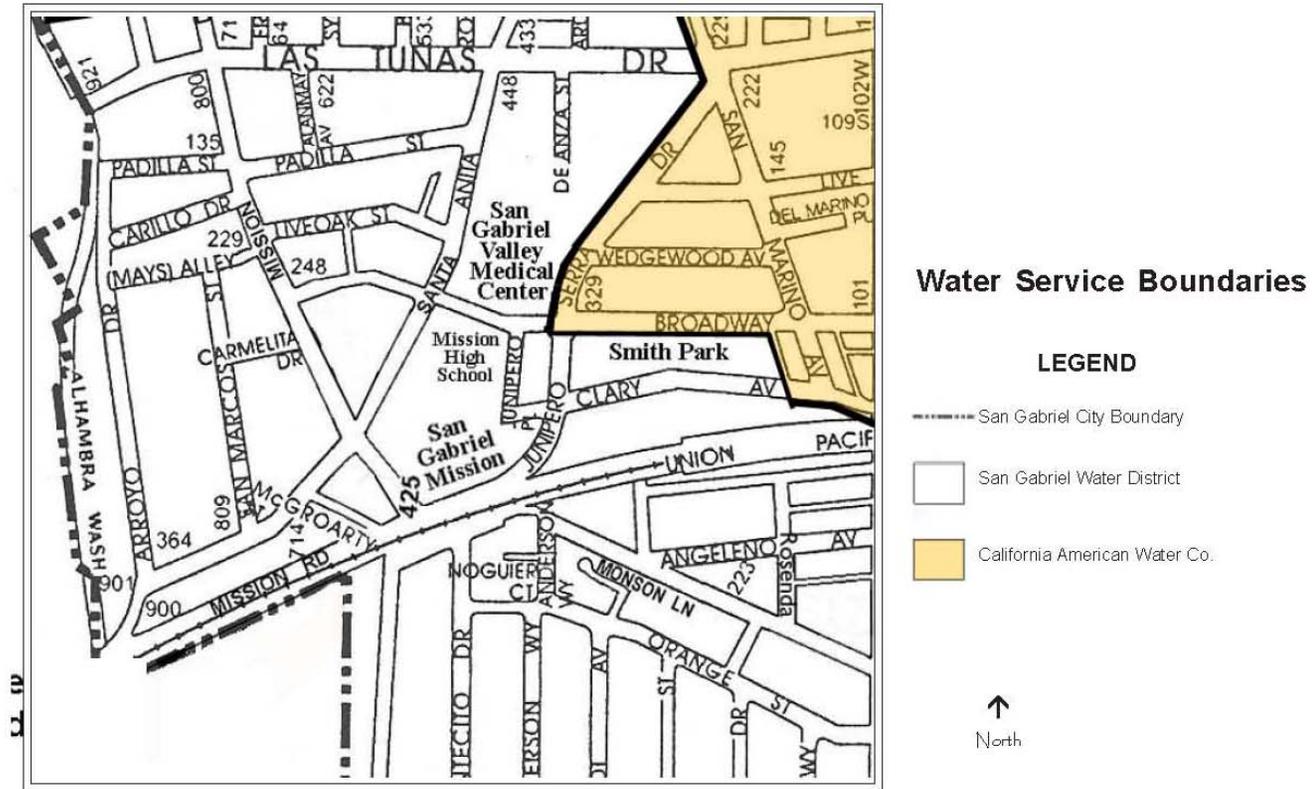
The Specific Plan does not propose any new development in the Plan Area at this time, but rather would allow for an increase of 515 dwelling and 396,994 square feet of non-residential uses beyond existing conditions. The San Gabriel County Water District (SGCWD) has indicated that District facilities manage a peak water demand of approximately 11.6 million gallons per day and 7,600 acre-feet of water per year. The District's source of water supply is groundwater from the Main San Gabriel Basin via deep wells.



**8.4.1 Water Monitoring:** The demand for water attributable to the Specific Plan would increase throughout buildout of the Plan Area. However, water facilities, devices, and practices will be developed in accordance with the standards of the City of San Gabriel and/or applicable water purveyor as future development occurs in the Plan Area. The water purveyor will require that future development projects include the installation of a water meter in each living unit. The size and type of meter will be required to conform to guidelines established by the City of San Gabriel and/or applicable water purveyor. Additional meters will be installed, as necessary, and will conform to the applicable water purveyor's specifications.



**EXHIBIT 8.5 ~ WATER SERVICE BOUNDARIES**



# Implementation

~ *With financial support from the State of California, San Gabriel has developed this plan.*

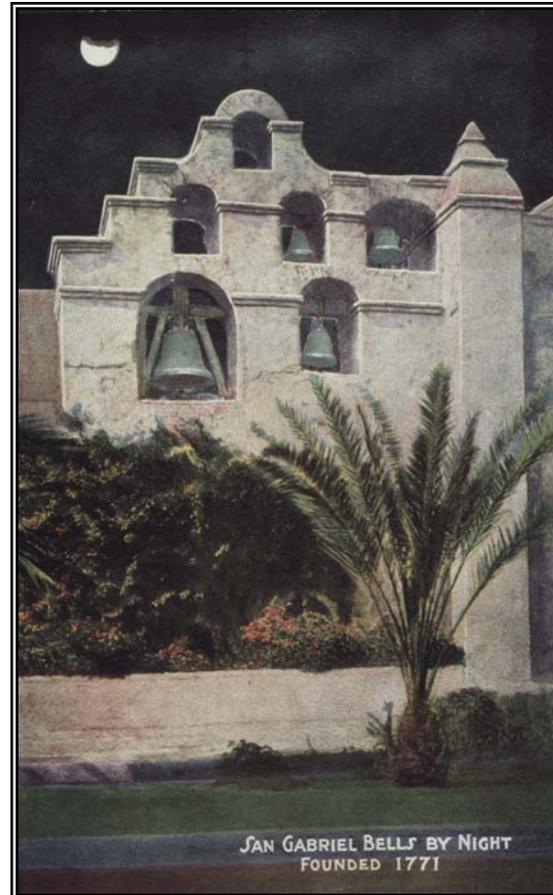
~ *With financial support from a number of entities, San Gabriel will be able to implement this plan.*

Given the financial realities and the current period of economic uncertainty, San Gabriel will need to look at prioritizing needs and developing creative solutions to implementing this Plan. This section of the Plan reviews the ways in which San Gabriel can effectively and efficiently change the Mission District. With financial support from the State of California, San Gabriel has developed this plan. With financial support from a number of entities, San Gabriel will be able to implement this plan.

## **PRINCIPLES AND GUIDELINES**

It is of paramount importance that the City spends its monies in the most efficient and effective way possible. In order to do this the following principles and guidelines shall be followed:

- The City shall create cooperative ventures, with public and private sector resources, in order to implement the improvements in this plan
- In order to generate greater capital, the City shall work to secure matching funds for improvements to the District.
- Developers and property owners should share in the cost of implementing the strategies of this Plan.



In general, there are two ways of implementing the strategies within this plan – procedural tools and monetary tools.

### **PROCEDURAL TOOLS**

These tools are used to enforce the zoning and design policies within this document.

1. **Precise Plan of Design:** All additions and new buildings require review by the Planning staff for conformance to the zoning code and design guidelines. The current process of reviewing Precise Plans of Design (PPDs) and single family homes shall be followed. Large PPDs shall be reviewed by the Design Review Commission. Small PPDs shall be reviewed by the City Architect and the City Landscape Architect. The services of the City Architect and Landscape Architect are used on smaller projects, while larger projects require review by the Design Review Commission. The services of the City’s Preservation Architect will be used on all projects requiring a Precise Plan of Design.
2. **Site Plan Review:** All additions and new single-family residences require review by the Planning staff. At this point in time, alterations to existing single-family residences, or construction of new single-family residences do not require review by the Design Review Commission.

### **MONETARY TOOLS**

These tools are used to pay for programs and improvements to infrastructure suggested by this plan.

1. **Community Development Block Grants:** Portions of the Mission District fall within areas where CDBG monies can be used for the removal of blight and services to low-income people. This money originates with the Federal government and is administered by the County of Los Angeles Community Development Commission.
2. **Impact Fees:** When developers build in the City of San Gabriel they may be required to pay impact fees for such things as parks, fire service, sewer improvements, and police service. Park impact fees can be used to make the recommended improvements to the parks in the Mission District.



3. **Propositions A & C:** Cities can seek funding for transportation and transit-oriented projects using State monies collected by propositions A & C. Street improvements such as bus shelters, bus benches, and street improvements can be funded through this source.
4. **Developer Exactions:** Exactions include impact fees and dedications required by the conditions of approvals.
5. **State and Federal Grants:** The State and Federal governments offer grants – usually matching local government contributions – for a wide range of projects such as historic preservation, local park improvements, environmental health initiatives, and public art programs. Improvement to traffic improvements can be funded through AB 2276 discretionary funds and ISTEA.
6. **Landscape and Lighting Assessment District:** In order to pay for landscaping maintenance and the installation of lighting a special district can be established. Property owners can establish this type of district, which would allow property owners to tax themselves in order to pay for improvements.
7. **Business Improvement Districts:** At this stage in the Mission District’s life, a business improvement district has not yet been formed. With the rejuvenation of the Mission District Partnership, business owners or property owners may be willing to tax themselves in order to pay for programs and capital improvements.
8. **Private Sources:** Organizations, such as the Women’s Division of the Chamber of Commerce, the San Gabriel Historical Association, and owners of culturally significant properties may wish to donate property or goods to support the renaissance of the Mission District. Larger entities, such as the Getty Foundation, have been instrumental in previous initiatives to restore the Civic Auditorium and the Mission. Help from these larger non-profit organizations may also be provided.



**TABLE 9.1 ~ IMPLEMENTATION MEASURES - FUNDING SOURCES AND PRIORITIES**

	GENERAL FUND	CDBG	IMPACT FEES	PROPOSITION A & C	DEVELOPER EXACTIONS	STATE AND FEDERAL GRANTS	BID OR PBID	L & L ASSESSMENT DISTRICT	PRIVATE SOURCES	FUND	DEFER	COST
<b>ECONOMIC DEVELOPMENT</b>												
<i>Develop Joint Venture Parking Opportunities with S.G.V.M.C.</i>	X		X				X		X		X	HIGH
<i>Promote Development at Key Sites – Civic Auditorium, etc.</i>	X									X		LOW
<i>Host More Community Events in the Mission District</i>	X						X		X	X		MED
<i>Pursue Reoccurring Events at the Civic Auditorium</i>	X								X	X		MED
<i>Develop Long-Term Funding Strategy for the MD Partnership</i>							X		X	X		LOW
<i>Employ professional staff for the MD Partnership</i>							X		X	X		MED
<b>LAND USE</b>												
<i>Increase the Density of Development</i>	X									X		LOW
<i>Allow for local serving businesses; Expand uses beyond tourist – oriented retail</i>	X									X		LOW
<i>Provide an Engaging Street Front</i>	X									X		LOW
<i>Enhance Public Amenities of New Development</i>	X				X				X	X		LOW
<b>HISTORICAL PRESERVATION</b>												
<i>Conduct a Cultural Resource Survey</i>	X					X			X	X		HIGH
<i>Register Historically Significant Buildings</i>	X								X	X		MED
<i>Mark Historically Significant Places with Plaques</i>	X						X	X	X	X		LOW



# Mission District Specific Plan ~ Implementation

	GENERAL FUND	CDBG	IMPACT FEES	PROPOSITION A & C	DEVELOPER EXACTIONS	STATE AND FEDERAL GRANTS	BID OR PBID	L & L ASSESSMENT DISTRICT	PRIVATE SOURCES	FUND	DEFER	COST
Adopt the State Historic Building Code	X									X		LOW
Restore Exterior of City Hall	X	X				X			X		X	HIGH
Make Improvements to the Parks and Recreation Building	X	X	X		X	X			X	X		HIGH
Rehabilitate the Civic Auditorium Building	X	X				X			X		X	HIGH
Adopt State Guidelines for Archaeological Resource Management	X									X		LOW
Develop a Cultural Resources Management Plan	X									X		LOW
Develop a Maintenance Program for Long-Term Rehabilitation	X									X		LOW
Develop a Disaster Plan for Historically Significant Buildings	X									X		LOW
Offer a How To Seminar on Historical Preservation	X					X	X		X	X		LOW
<b>URBAN DESIGN</b>												
Build Street Improvements: paved crosswalks, bump-outs, etc.	X			X	X	X	X	X			X	HIGH
Open up Civic Auditorium Wall Parking Lot	X									X		LOW
Enhance Passages Between Buildings	X					X	X	X	X		X	MED
Enhance Area in Front of Arcade Shops with Street Furniture	X					X	X	X			X	MED
Improve the Alley behind the Arcade	X					X	X	X			X	HIGH
Create a Pedestrian Focal Point in the Mission						X	X	X	X		X	MED
Make Improvements to Connect the Mission and Plaza Park	X					X	X	X			X	MED



## Mission District Specific Plan ~ Implementation

	GENERAL FUND	CDBG	IMPACT FEES	PROPOSITION A & C	DEVELOPER EXACTIONS	STATE AND FEDERAL GRANTS	BID OR PBID	L & L ASSESSMENT DISTRICT	PRIVATE SOURCES	FUND	DEFER	COST
<i>Improve Pedestrian Circulation and Amenities into the Civic Auditorium Area</i>	X				X	X	X	X			X	MED
<i>Enhance the Plaza in front of the Civic Auditorium</i>	X				X	X	X	X			X	MED
<i>Improve Public Amenities along Santa Anita Avenue</i>	X				X	X	X	X		X		MED
<i>Implement the Wayfinding (Sign) Program</i>	X					X	X	X	X		X	MED
<i>Implement a Public Art Requirement or In-Lieu Fee</i>	X									X		LOW
<i>Create Additional Public Art</i>			X		X	X					X	MED
<i>Implement Architectural Standards</i>	X									X		LOW
<b>CIRCULATION</b>												
<i>Design and Adjust Signal Timing</i>	X			X		X				X		LOW
<i>Reduce Design Speeds</i>			X	X	X	X	X				X	HIGH
<i>Extend Drop Off Zone by Closing Driveway at Civic Auditorium</i>	X				X	X	X				X	LOW
<i>Develop Special Event Parking Plan</i>	X						X		X	X		LOW
<i>Encourage and Allow Shared Parking Arrangements</i>	X						X			X		LOW
<i>Re-Design the Civic Auditorium Parking Lot to Allow for More Vehicles</i>	X									X		LOW
<i>Assist the Mission in Re-Designing the Parking Lot to Increase Capacity</i>							X	X	X	X		LOW
<i>Institute a Sewer Impact/Connection Fee</i>	X									X		LOW

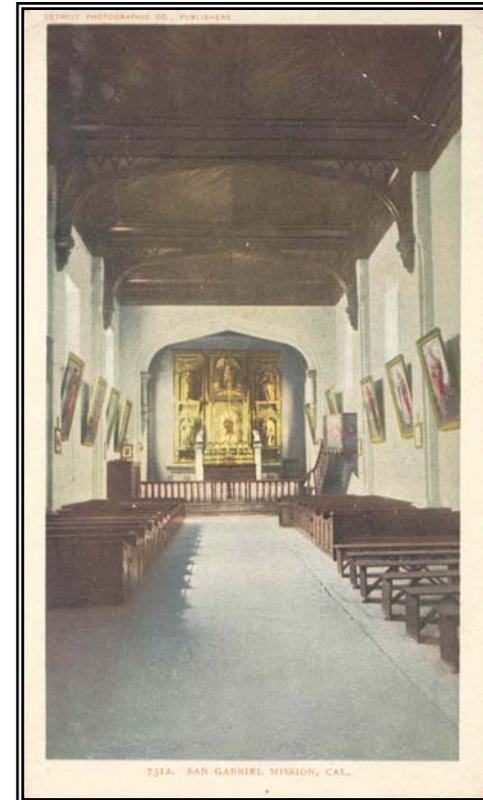


## Administration and Enforcement

The City of San Gabriel has set out in a direction based on goals and objectives gathered from residents of the district, and professionals in city development and design. Having goals and objectives alone, however, only sets the direction. Keeping the community on course requires the administration of procedures and the enforcement of regulations. Combined, these two areas of city government maintain the path along which the community as a whole seeks its ultimate goals. The journey is as important as the destination.

To fulfill the administrative and enforcement elements of the plan, the following procedures will be followed:

- Application Procedures
- Incentives
- Appeals
- Authority
- Adoption
- Amendments to the General Plan
- Interpretations
- Amendments to the Specific Plan
- Conflicts with Other Regulations
- Severance



**10.1 APPLICATION PROCEDURES**

Application procedures for properties within the specific plan area shall follow the same processes as other properties in the City of San Gabriel (Section 153 of the San Gabriel Municipal Code). This includes all precise plans of design, sign applications, additions and applications for new single family homes, general plan amendments, zone changes, variances, conditional use permits, minor modifications, and other similar applications.

**10.2 INCENTIVES**

Processing incentives are available for projects that restore historical and cultural significance. Overlapping timelines for Commission meetings, reduced fees, and expedited processing are possible incentives. The Community Development Director, or designee, shall make the determination as to which projects shall receive processing incentives.

**10.3 APPEALS**

Any aggrieved person who wishes to appeal decisions made by staff or Commissions may do so by following the procedures set out in Chapter 30 of the San Gabriel Municipal Code. Appeals of the Community Development Director or other staff interpretations are sent directly to the City Council (bypassing the Planning and Design Review Commission). Appeal processes shall follow the requirements of the San Gabriel Municipal Code Chapter 30.

**10.4 AUTHORITY**

The City of San Gabriel has the authority, under California Government Code Section 65450-65457, to adopt a specific plan to govern uses and development standards

**10.5 ADOPTION**

The Specific Plan will be adopted by ordinance. The development regulations found in this plan shall have the full force and effect of ordinances contained in the City's zoning code. This plan shall be cross-referenced within the San Gabriel Municipal Code. The official zoning map and land use plan will be amended to show the new boundaries of the Mission District Specific Plan and its zoning classifications.



**10.6 AMENDMENTS TO THE GENERAL PLAN**

This specific plan is implemented under the 1990 General Plan and will conform to the General Plan Update (2004). This plan conforms to the goals stated in the 1990 General Plan. Objective B-1 of the Land Use element calls for a pattern of commercial development that serves the community's needs. This specific seeks to do just that, creating an integrated zoning map, revised circulation pattern, and improved design guidelines, will better serve the Community's needs. Objective nine of the Economic Development element of the General Plan calls for the development of a tourist and entertainment district, specifically through the use of a specific plan, in the vicinity of the San Gabriel Mission and Civic Auditorium. In addition, the Economic Development Strategic Plan, adopted by City Council in 1998, calls for further promotion of the Mission District and "capitalizing" on the District's strengths. Through the CEQA (California Environmental Quality Act) process, some issues were identified that need to be addressed in order for this plan to have a less than significant impact on the environment. With the recommended mitigation measures, this plan conforms to the current General Plan and the General Plan Update. One prominent amendment must be made to the General Plan; the boundaries and zoning areas of the Mission District Specific Plan must be shown on the Land Use Map.

**10.7 INTERPRETATIONS**

In the event that an interpretation of this specific plan is required, the Community Development Director, or designee, shall interpret the requirements of the Specific Plan in writing. The interpretation shall be made known to the City Council. Appeals of the Community Development Director's decisions shall be heard by the City Council, these procedures are found in Chapter 30 of the San Gabriel Municipal Code.

**10.8 AMENDMENTS TO THE SPECIFIC PLAN**

This specific plan may be amended as prescribed by Section 65450 et seq. of the California Government Code, and Chapter 153 of the San Gabriel Municipal Code.



**10.9 CONFLICTS WITH OTHER REGULATIONS**

Where provisions of this plan impose more restrictive regulations than required by any other ordinance, resolution or policy, the provisions of this specific plan shall govern. This specific plan is regulatory in nature, and serves as zoning law for the properties within its boundaries. Precise plans, use and occupancy permits, parcel maps and other development entitlements shall be consistent with both this specific plan and the City of San Gabriel General Plan.

**10.10 SEVERANCE**

In the event that any section, subsection, conditions or term of this specific plan is declared illegal or unenforceable by a court of competent jurisdiction, the other sections, subsections, conditions and terms shall remain in full force and effect to the extent permitted by law.



## Sacred Ground

Land is precious and comes in a limited quantity, so a community must make wise choices as to how its land will be used. Land use planning should recognize that each city, town, village, and neighborhood has its own unique history, character, and identity, which differ from all other places. It is these defining features that create the spirit of a place and which give value and meaning to its inhabitants. This chapter attempts to honor and renew the spirit of this place by integrating the historic, cultural, civic, commercial, and residential functions of the District into a well-balanced whole.

### **LAND USE OBJECTIVES**

Land use in the Mission District will be guided by a respect for the past, the needs of the present, and a vision for the future in order to create a vibrant, functional, and economically-sound neighborhood. The area we now call the Mission District has been recognized for centuries as the ideal location around which to build a thriving community. Whether a tribal village of the native Gabrielino-Tongva people, a Spanish missionary settlement that gave birth to the Los Angeles region, or today's multi-ethnic modern city, this land has been at the heart of human activity. For all its storied history, however, the Mission District of 2004 is commonly seen as lacking something vital, as not reaching its fullest potential. In order to correct these weaknesses, the following land use objectives have been set:

- Provide for higher intensity development in the Mission District.
- Establish land use regulations that support increased pedestrian activity and decreased dependence on motor vehicles.
- Develop regulatory standards that ensure the efficient use of under-utilized properties.
- Provide an engaging street front.



- Expand the allowable uses in the Mission District.
- Provide specific requirements to enhance public amenities of new development.
- Allow for balanced development that minimizes environmental and fiscal impacts to the City.

### **OBSTACLES AND CONSTRAINTS**

This chapter of the Specific Plan will identify the land use issues that will need to be overcome in order for the Mission District to fully flower. These issues include the following:

**A Disconnection of major District landmarks:** There is a lack of synergy in the area between the major attractions: the Mission, City Hall, and the Civic Auditorium.

**A lack of residential uses in the District:** Presently, the Mission District zone does not permit residential uses. The District's role as a cultural and entertainment center for the City depends on having sufficient people to support, if not a "24-hour district," at least a vibrant and active night life. In order to do this, the introduction of residential uses as part of mixed-use developments is desirable. Mixed-use projects can bring additional people (residents) onto the streets in the evenings and on weekends, heightening the sense of the place as one where people want to congregate. Mixed-use development can be a tool for helping to provide affordable housing for seniors, working families, and others with special needs. The challenge will be to create mixed-use development standards tailored to the unique scale, character, and history of the District.

**Code Issues:** The Mission District zone was created in September 1994 "to provide for development which will complement the historic nature of the Mission San Gabriel Archangel and will assist in encouraging uses complementary to a tourist and retail oriented area." This was to be accomplished through specific use, signage, and architectural standards unique to the District. In the years since the inception of the Mission District zone, a modicum of success has been achieved in fulfilling this intent. The uses currently



permitted in the Mission District are appropriate for the type of pedestrian-friendly, tourist-drawing commercial and entertainment district envisioned. Experience has shown, however, that there are aspects of the current code that actually hinder the Mission District from reaching its full potential. There are several uses that are conspicuous by their absence, and if allowed, could make a significant contribution to providing the critical mass of people needed to animate the District.

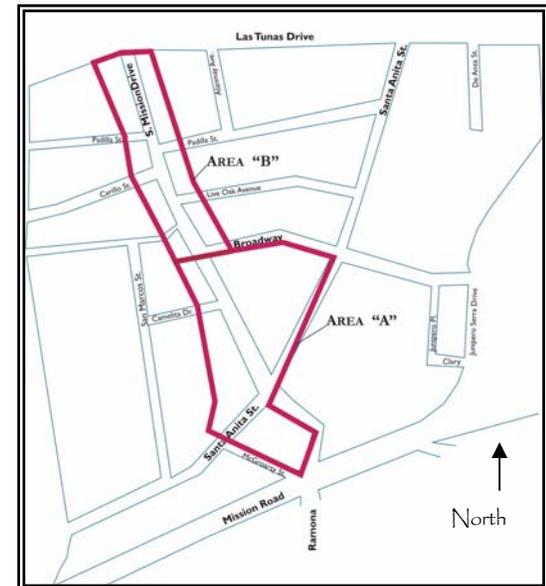
**Allowance for live/work space:** In many areas that are now thought of as urban success stories, such as Old Pasadena and Pine Avenue in Long Beach, artists were often at the vanguard of those helping to revive historic, but long-neglected neighborhoods. Areas such as these have facilitated the positive influence of the art community by crafting their codes to permit live/work spaces for professionals looking for creative space. Well-designed ordinances that permit live/work space have sparked the creative adaptive reuse of vacant or underutilized commercial and industrial buildings. These spaces also have many of the benefits of mixed-use development, as they include residential space and create a round-the-clock population for the neighborhood.

**Absence of lodging in or near the District:** At present, there are no lodging accommodations in or near the Mission District for visitors who wish to stay overnight. While large hotels or motels would not be appropriate to the scale or vision of the District, small bed and breakfast types of facilities may be acceptable. Often these inns are adaptive reuse of single-family homes or other types of non-lodging use. The zoning code does not currently allow this type of use in the Mission District.

**Mission District vitality:** The Mission District has made tremendous strides in beautification since 1990. Similar advancement in economic activity, however, has been hard to come by. While existing zoning regulations have produced some successes, a more comprehensive strategy is called for to help the area reach its full potential.

### **EXISTING LAND USES**

When the Mission District zoning was created in the 1990's, it was divided into Area A (Mission Road to Broadway) and Area B (Broadway to Las Tunas), in recognition of the existing land use pattern. Area A tends to be characterized by its concentration of historic buildings and civic uses, while Area B exhibits a more generalized commercial feel similar to neighboring Las Tunas Drive. Some existing multi-family housing is also present in Area B.



1994 Mission District Zone



The southern half of the district (Area A) encompasses the Mission San Gabriel Archangel (the second oldest building south of Monterey), the legendary San Gabriel Civic Auditorium, the City Hall, the Historic Museum and Hayes House, the Ramona Museum of California, and many other historic and cultural sites. This area also is home to a small cadre of retail shops and restaurants, many of which are struggling to survive. A further challenge for the area is some significant vacant or underutilized buildings, such as the Masonic Lodge, and, until recently, the former “Startups” building, and the old Brave Bull restaurant building.

Finally, Area A is where all of the public parking lots in the Mission District are currently located. These lots are at City Hall, the Civic Auditorium, and the Park and Ride lot adjacent to the former Brave Bull (now Mission 261 restaurant).

In contrast to Area A, where the land use pattern might best be described as institutional/commercial, the northern half of the district (Area B) has a residential/commercial character to it. The section of Mission Drive between Las Tunas and Broadway not only contains commercial uses (mostly general offices, medical/dental offices, and service businesses) but includes some small, older multi-family housing interspersed among the businesses as well. In several cases, these residential buildings are on the corner of Mission Drive and residential streets adjacent to the district, such as Padilla, Live Oak and Carrillo. While the southeast corner of Las Tunas and Mission is anchored by a multi-tenant shopping center, the center is poorly laid out and presents only a limited face to Mission Drive. The 5,000 square foot commercial building recently completed on the southwest corner stands in contrast as a thoughtfully detailed design that embraces the street rather than shirks from it.

“The more successfully a city mingles everyday diversity of uses and users in its everyday streets, the more successfully, casually (and economically) its people thereby enliven and support well-located parks that can thus give back grace and delight to their neighborhoods instead of vacuity.”

Jane Jacobs  
urban geographer



#### **4.1 ZONING**

**Exhibit 4.1** illustrates the existing zoning parcel by parcel. It is clear that an overhaul of the uses permitted in the Mission District zone is an integral part of the formula for stimulating economic activity in the area. In order to implement the vision for the Mission District Specific Plan area, the zone changes are depicted in **Exhibit 4.2**. These changes provide for higher densities in the Mission Village zone and R-3 Arroyo Residential zone, while protecting the charm of the single-family homes on Padilla with the R-1 Villa Residential zone. The names of each zone establish the character we envision for each neighborhood. The Medical Facilities zone will not change from its current zone or permitted land uses;



however, it is an integral part of the Mission District Specific Plan and, as such, is included in the study area.

The **Mission District Village Zone** will contain pedestrian-oriented local-serving commercial and mixed-use development. Development will enhance the area’s quaint and historic character by complementing the Spanish-style architecture to create a beautiful and inspiring space featuring walkways, public art, and views of the Civic Auditorium.

The **R-1 Villa Residential Zone** will feature single family homes that maintain traditional design elements such as single-story construction and no enclosures. The **R-2 Grapevine Residential Zone** will sustain a community atmosphere through medium-density residential structures (such as duplex or triplex apartments, or condominiums) that are built to face the street. The **R-3 Arroyo Residential Zone** inspired by the natural fresh-water landscape and will include amenities such as pathways, trees, courtyards and functional pedestrian alleys.

The **C-1 Garden Mission District Zone** will contain public and semi-public uses, will feature plazas rather than lawns, and will offer pedestrian pathways and public art. The **C-1 Marketplace Zone** will enhance the Las Tunas corridor through infill commercial development built to the street. The **C-3 Mill Zone** will be oriented toward bio-medical, R&D, and other high-tech offices, and will include an improved streetscape achieved through tree planting, widening of sidewalks, and creation of parkways along Mission Road and Santa Anita. The **Medical Facilities Zone** will create a medical campus along Santa Anita, from Las Tunas to Broadway; streetscape improvements along Las Tunas will help form a pleasurable entrance to the area.



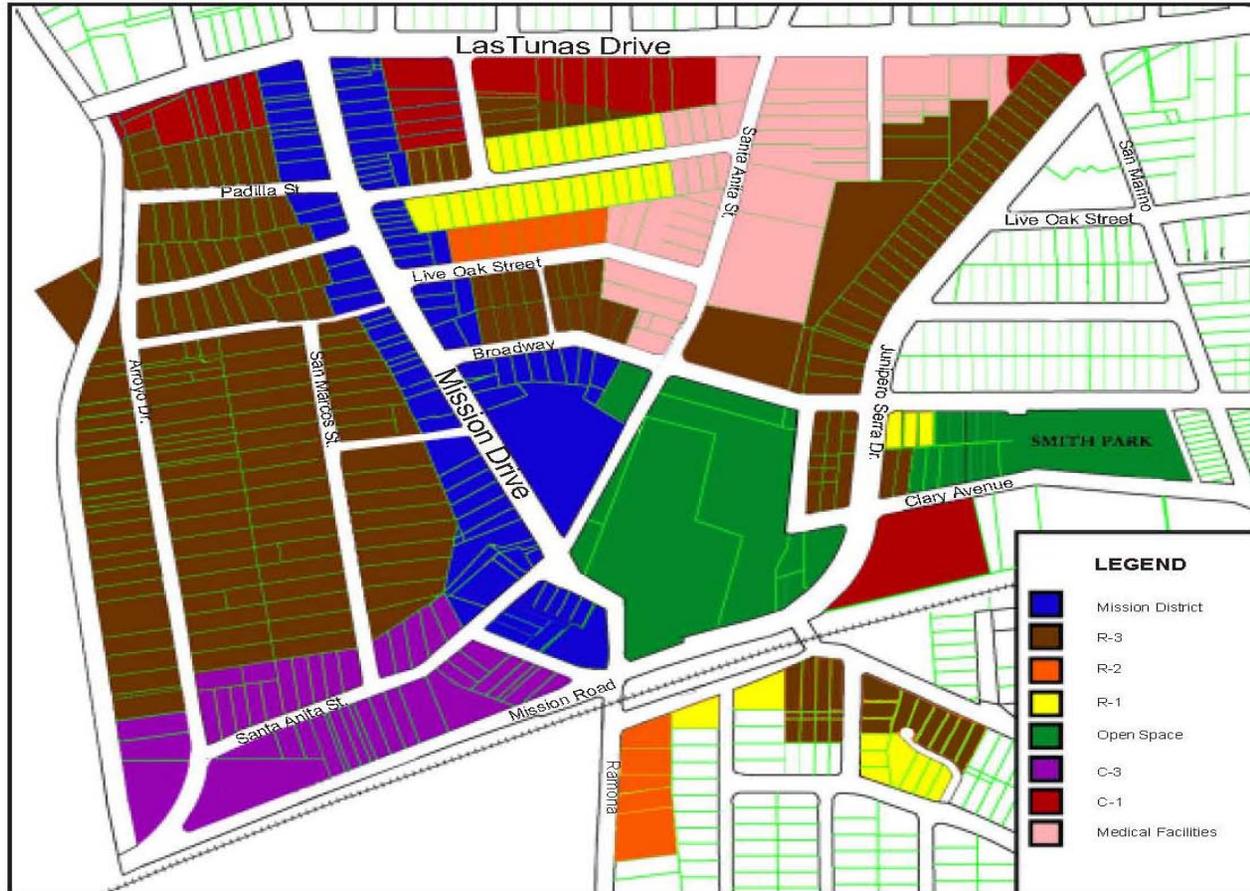
#### **4.2 PERMITTED LAND USES**

The San Gabriel Mission District represents one of the most historic locations in Southern California, with much potential to create a special place for local citizens and the greater community.

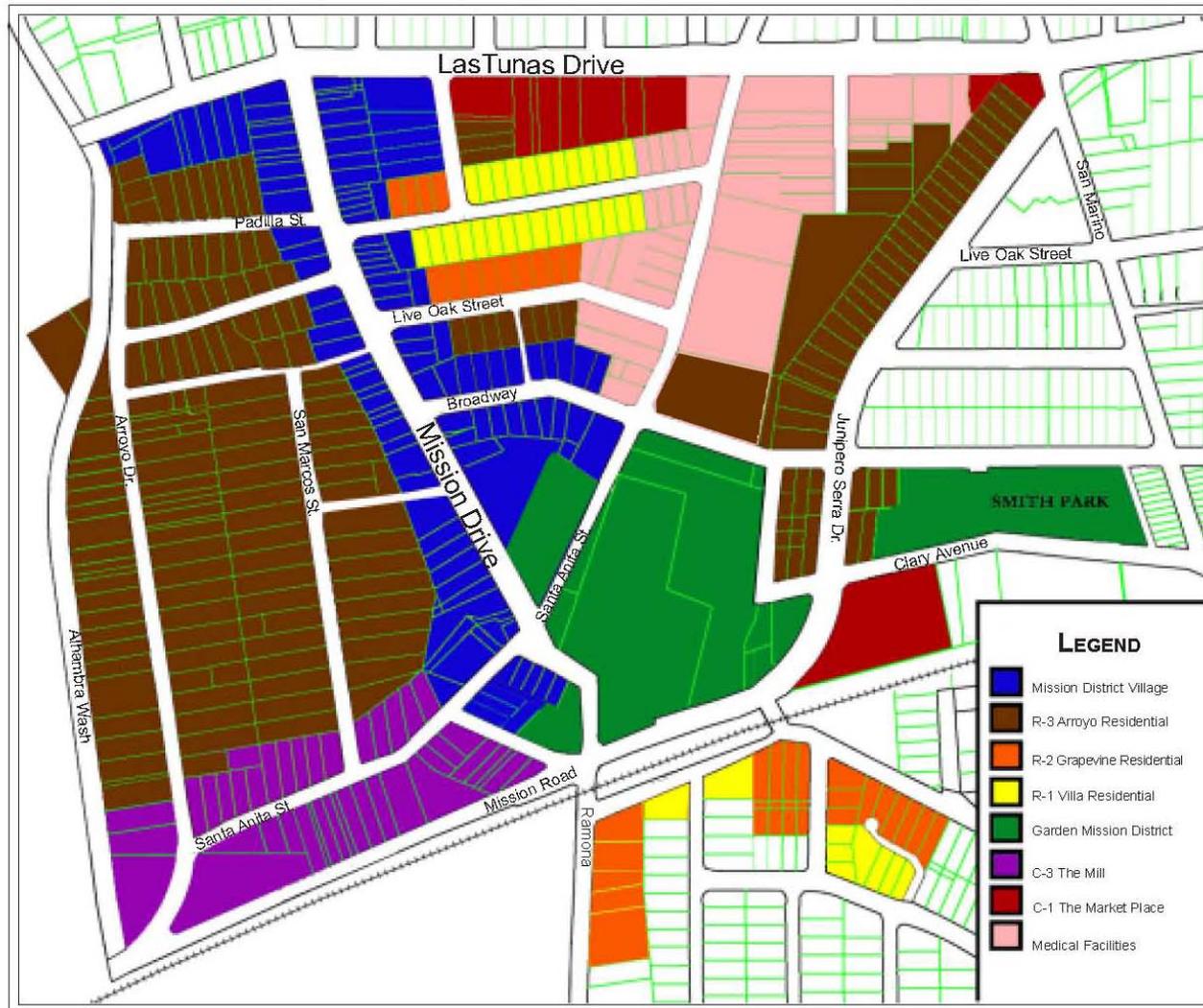
Unfortunately, the present zoning precludes some uses that could help the District become an economically viable area while still retaining the unique historical, cultural, and architectural character that gives the District its charm. **Table 4.1** below illustrates the permitted uses for the zones located within the Mission District Specific Plan Area. **Table 4.2** depicts the permitted uses in the residential zones.



**EXHIBIT 4.1 ~ EXISTING  
ZONING**



**EXHIBIT 4.2 ~ PROPOSED ZONING**



**TABLE 4.1 ~ PERMITTED USES: COMMERCIAL**

TYPE OF USE	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Permitted Uses	<ul style="list-style-type: none"> <li>• Banks and financial institutions</li> <li>• Food and beverage sales and service</li> <li>• General office uses</li> <li>• Live-work space</li> <li>• Lodging/conference facilities</li> <li>• Medical and dental offices</li> <li>• Museums/Art Galleries</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Retail sales</li> <li>• Small-scale service uses</li> </ul>	<ul style="list-style-type: none"> <li>• Auditoriums</li> <li>• City Halls</li> <li>• Fire stations</li> <li>• Libraries</li> <li>• Mission San Gabriel Archangel</li> <li>• Museums</li> <li>• Parks, recreation centers and accessory offices</li> <li>• Police stations or substations</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Schools</li> </ul>	<ul style="list-style-type: none"> <li>• Biotech/high tech</li> <li>• Import/export</li> <li>• Light manufacturing and production</li> <li>• Live/work space</li> <li>• Medical and dental labs</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Research and development</li> </ul>	<ul style="list-style-type: none"> <li>• Banks and financial institutions</li> <li>• Food and beverage sales and service</li> <li>• General office uses</li> <li>• Libraries</li> <li>• Live-work space</li> <li>• Lodging/conference facilities</li> <li>• Medical and dental offices</li> <li>• Museums/Art Galleries</li> <li>• Required parking facilities located on the same site as the principal permitted or conditionally permitted use</li> <li>• Retail sales</li> <li>• Small-scale service uses</li> <li>• Vending carts on private property in conjunction with a retail establishment as provided for in Section 153.163 of the San Gabriel Municipal Code</li> </ul>
Temporary Uses Subject to Permit	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>	<ul style="list-style-type: none"> <li>• Street entertainment for special events; single-event open air markets; seasonal sales. All temporary uses are subject to a temporary use permit as provided for in Section 153.151 of the San Gabriel Municipal Code</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>



Mission District Specific Plan ~ Land Use

TYPE OF USE	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Conditional Uses	<ul style="list-style-type: none"> <li>• Alcohol sales in bona fide restaurants</li> <li>• Live entertainment in any form</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Restaurants with dining rooms open between the hours of 2 a.m. and 6 a.m.</li> <li>• Mixed-use developments</li> <li>• Sale of used goods, including antique sales</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>	<ul style="list-style-type: none"> <li>• Churches</li> <li>• Mixed use developments</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>	<ul style="list-style-type: none"> <li>• Mixed use developments</li> <li>• Warehousing</li> <li>• Wholesale sales</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used</li> </ul>	<ul style="list-style-type: none"> <li>• Alcohol sales in bona fide restaurants</li> <li>• Groceries</li> <li>• Live entertainment in any form</li> <li>• Public or semipublic facilities not listed as a permitted use</li> <li>• Publicly owned and used parking facilities</li> <li>• Restaurants with dining rooms open between the hours of 2 a.m. and 6 a.m.</li> <li>• Mixed use developments</li> <li>• Nursing care facilities, adult or child daycare facilities</li> <li>• Parking facilities located on a separate site from the principal use to which the parking is related</li> <li>• Sale of used goods, including antique sales</li> <li>• Veterinary offices</li> <li>• Such other uses as may be determined by the Planning Commission, or on appeal, by the City Council to be substantially similar to a permitted use, the conditional use permit process and criteria shall be used.</li> </ul>



**TABLE 4.2 ~ PERMITTED USES: RESIDENTIAL**

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Permitted Uses	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• Multiple-family dwellings (apartments, condominiums)</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Residential care facilities housing six or fewer persons</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> <li>• State licensed family day care homes</li> </ul>	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• Multiple-family dwellings (apartments, condominiums)</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Residential care facilities housing six or fewer persons</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> <li>• State licensed family day care homes</li> </ul>	<ul style="list-style-type: none"> <li>• Accessory buildings and uses incidental to each dwelling unit</li> <li>• Home occupations per Section 153.031 of the San Gabriel Municipal Code</li> <li>• Licensed family care homes, foster homes, or group homes serving six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116</li> <li>• Manufactured housing, including factory-built housing, provided it is developed and maintained in accordance with this subchapter</li> <li>• One-family dwellings of a permanent character placed in a permanent location</li> <li>• Publicly-owned and operated parks, playgrounds, and recreation centers, including all necessary facilities</li> <li>• Required parking for permitted and conditionally permitted uses</li> <li>• Second residential units per Section 153.047 of the San Gabriel Municipal Code</li> </ul>



Mission District Specific Plan ~ Land Use

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Conditional Uses	<ul style="list-style-type: none"> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>	<ul style="list-style-type: none"> <li>• Bed and breakfast inns (with or without conference facilities)</li> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>	<ul style="list-style-type: none"> <li>• Bed and breakfast inns (with or without conference facilities)</li> <li>• Church, chapel, or other religious facility per Section 153.050 of the zoning code</li> <li>• Educational institutions (private elementary and secondary), per Section 153.050 of the zoning code</li> <li>• Licensed family care homes, foster homes, or group homes serving seven or more mentally disordered or otherwise handicapped persons or dependent and neglected children where authorized pursuant to Cal. Welf. &amp; Inst. Code § 5116, per Section 153.050 of the zoning code</li> <li>• Senior housing units per Section 153.048 of the zoning code</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>	<ul style="list-style-type: none"> <li>• All uses not permitted or conditionally permitted in the zone</li> </ul>





#### 4.3 **MIXED-USE HOUSING IN NEW AND EXISTING BUILDINGS**

The introduction of mixed-use development (residential units over commercial space) is likely to increase in coming years. Mixed-use offers the ability to provide for needed higher density housing without having to rezone more single-family areas for apartments and condominiums. Designing effective mixed-use projects will require great sensitivity to adjoining single use properties.

In June 1999, the City of San Gabriel hosted a facilitated discussion with Mr. Donovan Rypkema, a nationally known expert on downtown revitalization in historic districts. Among his recommendations, Mr. Rypkema suggested that the Mission District should allow mixed-use development, thus mixing users within buildings and creating residential components within the District. This housing is important because the introduction of residents into the area would have four times the economic impact than workers alone would have.



The idea of combining commercial and residential uses under one roof is a very old concept given new currency in recent years by proponents of “new urbanism,” “livable cities,” and “sustainable development.” A convergence of forces is taking place in contemporary cities that is making mixed-use less like an outdated anachronism and more like a viable tool in combating the forces of auto-dependency, sprawl, and high housing costs.

An area like the Mission District is ideally suited for mixed-use development because it is expressly created to be a place where people could easily walk and would not have to rely on the automobile for getting around the District. Currently, two bus lines serve the Mission District. They are MTA routes 176 (a local line connecting northeast Los Angeles and El Monte) and 487 (an express line between Sierra Madre and downtown Los Angeles). The District’s role as a cultural and entertainment center for the City depends on having sufficient people to support, if not a “24-hour district”, at least a vibrant and active night life. Mixed-use projects could bring additional people (residents) onto the streets in the evenings and on weekends, heightening the sense of the place as one where people want to congregate.



Currently, the Mission District does not allow mixed-use. As the economic realities of development change, developers must increase the density of sites in order to make the construction of a building profitable. While allowing the use of residential units in the Mission District will make the District more vibrant and dynamic, it can also help to address the lack of multifamily housing in the San Gabriel Valley.



#### **4.4 DEVELOPMENT STANDARDS**

As important as a well thought out land use plan is for the success of the Mission District, a list of permitted uses by itself is not enough. It must be coupled with development standards that will result in the desired built environment to make the vision of the Mission District manifest. Along with the sections on urban design and historic preservation, this section puts forth the City's expectations of those development characteristics that are necessary in order to preserve and enhance the special character of the Mission District. These standards are itemized in **Table 4.3**, Development Standards Commercial, **Table 4.4** Development Standards Residential, **Table 4.5** Parking Requirements Commercial, **Table 4.6** Parking Requirements Residential and Standards **Table 4.5**.

**4.4.1 Development of Properties Adjoining Cultural Resources:** Proposals for development on parcels directly adjacent to sites identified as cultural or historical resources within this plan shall be subject to review against the following standards. All new development adjoining properties listed in Section 5.1.1 of this plan shall provide for the following as required by the Planning Commission, Design Review Commission, Community Development Director or designee:

- The protection and preservation of historic, specimen, or rare plants, trees, vegetation and shrubs;
- The protection and establishment and view corridors and pedestrian connections between historical and cultural resource sites and existing corridors such as Mission Road, Mission Drive, Ramona Avenue, and Junipero Serra Drive, as well as landscaped pedestrian ways, or “paseos,” that may be created with new projects under this plan.
- Protection of historical orientation, elements of original streetscape having cultural or scenic value
- Elimination, removal or replacement of improvements inconsistent with the architectural, design, streetscape and preservation standards of the plan
- Use of complementary materials, colors, textures, planting palette, design features, streetscape components, and



- Protection of sight lines, both across properties, and at the roof level; scale of new development so as to preserve visibility and appropriate scale.
- Elimination of utility equipment, rooftop equipment, trash enclosures or other equipment and structures that could create unsightly background as seen from a historic site or cultural resource.
- Concealment of utility structures and equipment, including cable equipment, vaults, backflow devices, and other physical installations.
- Elimination of fencing if designed in a manner inconsistent with the appropriate style and treatment of fencing associated with the character-defining features and context associated with specific cultural and historical resources.
- Undergrounding of overhead electrical utilities as required by the San Gabriel Municipal Code.

“In many parts of the country, mixed use is being looked upon more favorably by both public and private sectors. For so many reasons—public safety being just one—it is good that we are mixing a variety of uses with one another again, and exploring ways of better integrating compatible uses rather than separating them.”

Zelinka & Brennan



**TABLE 4.3 ~ DEVELOPMENT STANDARDS: COMMERCIAL**

STANDARD	MISSION DISTRICT VILLAGE	OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
Minimum Lot Size <i>(Newly created lots only)</i>	None	None	None	None
Minimum Lot Width <i>(Newly created lots only)</i>	50 feet	50 feet	50 feet	50 feet
Minimum Landscaped Setbacks				
▪ Front	0'	0'	10% of net lot depth	0'
▪ Rear	10 feet <i>(abutting non-residential zone);</i> 20 feet <i>(abutting residential zone)</i>	10 feet <i>(abutting non-residential zone);</i> 20 feet <i>(abutting residential zone)</i>	10% of net lot depth	10 feet
▪ Side	0'	0'	0	0'
▪ Street Side	0'	0'	10% of net lot width	0'
Landscaping	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan	10% of net lot area. See Section 4.7.4.1 of the Specific Plan
Maximum Building Height	40 feet	40 feet	40 feet	40 feet
Minimum Building Separation	Per Fire Code	Per Fire Code	Per Fire Code	Per Fire Code
Maximum Floor Area Ratio	0.50 (1.00 for mixed use projects)	0.50 (1.00 for mixed use projects)	0.70 (1.00 for mixed use projects)	0.50 (1.00 for mixed use projects)
Utility Undergrounding	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.6.1.3 of the Specific Plan
Trash Enclosures	See Section 4.7.1.9 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.7.1.3 of the Specific Plan	See Section 4.6.1.3 of the Specific Plan
Minimum Driveway Width	20 feet	20 feet	20 feet	20 feet
Maximum Fence or Wall Height	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference	Front yard: 3' <i>(solid wall with 3' landscaped setback)</i> or 6' <i>(open fencing)</i> Side and rear yards: 6' Fence or wall height shall be measured from the lower side of the fence or wall where there is an elevation difference
Stormwater Management Requirements	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	See Section 4.6.1.8 of the Specific Plan



**TABLE 4.4 ~ DEVELOPMENT STANDARDS: RESIDENTIAL**

STANDARD	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Maximum Density	24 units/acre (1 unit/ 1,742 sq. ft. of net lot area) 40 units/acre (1 unit/ 1,089 sq. ft. of net lot area) if lot size is at least 32,670 sq. ft and lot width is at least 150 feet (additional density bonus possible for senior and/ or affordable units)	12 units/acre (1 unit/ 3,960 sq. ft. of net lot area) 20 units/acre (1 unit/ 2,178 sq. ft. of net lot area) if lot size is at least 32,670 square feet and lot width is at least 150 feet (If lot width is less than 150', the current R-2 zoning requirements for outside the Mission District apply)	6 units/acre (1 unit/ 7,260 sq. ft. of net lot area)
Minimum Lot Size (Newly created lots only)	10,000 square feet	10,000 square feet	7,260 square feet
Minimum Lot Width (Newly created lots only)	70 feet	70 feet	50 feet (interior lots); 55 feet (corner lots)
Minimum Landscaped Setbacks			
▪ Front	15 feet	15% of net lot depth	20 feet (Unenclosed or uncovered front porches may project 6' into the front yard)
▪ Rear	15% of net lot depth; 5 feet (accessory buildings) (rear yard setback for properties on the west side of Arroyo Dr. will be measured from the nearest edge of the flood control easement)	20% of net lot depth; 5 feet (accessory buildings)	15 feet; 5 feet (accessory buildings)
▪ Side	10 feet (if building is 24' or less in height); 15 feet (if building is 25-36' in height); 20 feet (if building is 37-48' in height); 5' (accessory buildings)	5 feet (if building is 15' or less in height); 10 feet (if building is 16-28' in height); 2 feet (accessory buildings)	4 feet; 2 feet (accessory buildings)
▪ Street Side	12 feet	10 feet	8 feet
Minimum Open Space	300 sq. ft. per bedroom (Covering of the Albambra Wash is prohibited; for properties on the west side of Arroyo Dr. either scenic easements along the Wash or the front yard setback can be counted as open space. The flood control easement itself does not count as open space)	400 square foot per bedroom	
Maximum Building Height	48 feet 15 feet (accessory buildings)	28 feet 15 feet (accessory buildings)	15 feet



## Mission District Specific Plan ~ Land Use

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<b>STANDARD</b>	<b>R-3 ARROYO RESIDENTIAL</b>	<b>R-2 GRAPEVINE RESIDENTIAL</b>	<b>R-1 VILLA RESIDENTIAL</b>
Minimum Building Separation	20 feet ( <i>main building to main building</i> ); 6 feet ( <i>main building to accessory building</i> )	20 feet ( <i>main building to main building</i> ); 6 feet ( <i>main building to accessory building</i> )	6 feet ( <i>main building to accessory building</i> )
Maximum Lot Coverage	60%	55%	35%
Maximum Floor Area Ratio			0.35
Utility Undergrounding	See Section 4.7.1.10 of the Specific Plan	See Section 4.7.1.10 of the Specific Plan	See Section 4.7.1.10 of the Specific Plan
Trash Enclosures	Required on projects of 3 units or more. See Section 4.7.1.9 of the Specific Plan	Required on projects of 3 units or more. See Section 4.7.1.9 of the Specific Plan	
Minimum Driveway Width	20 feet	12' feet maximum ( <i>1-3 units</i> ); 20 feet ( <i>4+ units</i> )	12 feet maximum
Maximum Fence or Wall Height	4 feet high in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference	Prohibited in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference	Prohibited in front yard; 6 feet high in side and rear yards Fence or wall height shall be measured from the higher side of the fence or wall where there is an elevation difference
Stormwater Management Requirements	See Section 4.7.1.8 of the Specific Plan	See Section 4.7.1.8 of the Specific Plan	



**TABLE 4.5 ~ PARKING REQUIREMENTS COMMERCIAL**

USES	MISSION DISTRICT VILLAGE/OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
<b>Residential</b>			
Live/Work Space	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units	2 spaces / dwelling + 1 space / 750 square feet of office space + 1 guest space for every 3 units
Residential-Mixed Use	1 covered space/bedroom + 1 guest space for every 3 units	1 covered space/ bedroom + 1 guest space for every 3 units	1 covered space/ bedroom + 1 guest space for every 3 units
<b>Restaurants &amp; Lodging</b>			
Restaurants	1 space / 300 square feet		1 space / 100 square feet
Outdoor Dining ( <i>on private property</i> )	1 space / 300 square feet		1 space / 300 square feet
Bed & Breakfast	2 spaces + 1 space / guest room		
Bars with Live Entertainment	1 space / 150 square feet		1 space / 75 square feet
<b>Studios and Offices</b>			
Less than 2,000 sq. ft.	1 space / 750 square feet	1 space / 200 square feet	1 space / 200 square feet
2,001 – 5,000 sq. ft.	1 space / 750 square feet	1 space / 250 square feet	1 space / 250 square feet
Greater than 5,001 sq. ft.	1 space / 750 square feet	1 space / 300 square feet	1 space / 300 square feet
<b>Retail</b>			
General Retail	1 space / 750 square feet of gross floor area (GFA)		
Less than 10,000 sq. ft.	1 space / 750 square feet of gross floor area (GFA)		1 space / 250 square feet
Greater than 10,000 sq. ft.	1 space / 750 square feet of gross floor area (GFA)		1 space / 300 square feet
Furniture Stores	1 space / 1,000 square feet		1 space / 500 sq. ft.



Mission District Specific Plan ~ Land Use

USES	MISSION DISTRICT VILLAGE/OPEN SPACE GARDEN MISSION DISTRICT	C-3 THE MILL	C-1 THE MARKET PLACE
<b>Services</b>			
Banks, Savings, Loans	1 space / 225 square feet		1 space / 225 square feet
Barber and Beauty Shop	1 space / 750 square feet		1 space / 250 square feet
Veterinary			1 space / 250 square feet
Medical & Dental Offices	1 space / 750 square feet		1 space / 200 square feet
Medical & Dental Labs		1 space / 250 square feet	
Convalescent / Nursing Facility			0.5 spaces / patient bed
Adult or Child Daycare			1 space /employee + 1 space/adult or child, based on facility capacity
<b>Community Uses</b>			
Library			1 space / 300 square feet
Museum/Art Gallery	1 space / 750 square feet		1 space / 300 square feet.
<b>Manufacturing</b>			
Light Manufacturing		1 space / 500 square feet of industrial area + 1 space / 250 square feet of office use + 1 space / 1,000 square feet of warehouse area.	
Research and Development		1 space / 400 square feet	
Warehousing		1 space / 1,000 square feet	
Wholesaling		1 space / 400 square feet	



**TABLE 4.6 ~ PARKING REQUIREMENTS RESIDENTIAL**

USES	R-3 ARROYO RESIDENTIAL	R-2 GRAPEVINE RESIDENTIAL	R-1 VILLA RESIDENTIAL
Residential			
Single-Family Housing			2 covered parking spaces <i>(20 ft. x 20 ft.)</i>
2 <sup>nd</sup> dwelling: studio/1bed	1 space <i>(covered or uncovered; tandem parking prohibited)</i>	1 space <i>(covered or uncovered; tandem parking prohibited)</i>	1 space <i>(covered or uncovered; tandem parking prohibited)</i>
2 <sup>nd</sup> dwelling: 2 bedrooms	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>	2 spaces <i>(covered or uncovered; tandem parking prohibited)</i>
Multiple Family Housing	Minimum 2 car garage / unit + 1 guest space for every 3 units	Minimum 2 car garage / unit + 1 guest space for every 3 units	
Senior Citizen Housing <i>(multi-family)</i>	0.75 space / unit <i>(covered or uncovered)</i>	0.75 space / unit <i>(covered or uncovered)</i>	
Bed & Breakfast		2 spaces + 1 space / guest room	2 spaces + 1 space / guest room



**TABLE 4.7 ~ STANDARDS**

*Any details or issues not specifically covered in these regulations shall be subject to the regulations of the San Gabriel Municipal Code.*

CATEGORY	STANDARD
A. Development Standards	1. <b>BUILDING HEIGHT LIMITS IN NON-RESIDENTIAL ZONES:</b> The maximum building height in non-residential zones shall be three stories, not to exceed 40', excluding special architectural elements such as bell towers, theme towers, and, parapet accents, which may extend to 50' upon Design Review Commission approval of a Precise Plan of Design. Towers for mechanical equipment, elevators or cooling shall be subject to the 40' limit unless treated as an architectural element.
	2. <b>COMPLIANCE WITH MINIMUM LOT SIZE AND DIMENSION REQUIREMENTS:</b> Where an existing lot or parcel of record has less width, depth or area than required by this specific plan at the time of adoption of this specific plan, the entire lot or parcel may be occupied by any use permitted by this specific plan without regard to the specific plan's minimum lot size requirements. Nothing in this section, however, shall be construed so as to permit expansion or enlargement of an activity without first securing appropriate City approvals as required by this specific plan and the San Gabriel Municipal Code.
	3. <b>MECHANICAL EQUIPMENT:</b> All mechanical equipment such as heating and air conditioning units shall be completely screened from surrounding properties by use of parapets, architectural features, walls, fences, or shall be enclosed within a building. Roof-mounted equipment shall not be visible from surrounding streets or residential areas. It shall be screened with parapets, architectural features, or enclosures architecturally compatible with the building. Transformers, utility vaults, fire equipment, and similar facilities shall be placed in unobtrusive locations if possible and screened to the extent possible without obstructing required access.
	4. <b>PROJECTIONS INTO REQUIRED SETBACKS:</b> Architectural elements including, but not limited to, bay windows, chimneys, eaves, balconies, planters, plant shelves and non-structural canopies may project into the required side setback area a maximum of 2' and into the required front yard and rear yard setback areas a maximum of 4'. In residential zones, uncovered, unenclosed patios may project 10' into the required rear yard setback area while covered, unenclosed patios may project 5' into the required rear yard setback area. In the R-1 Villa Residential zone, uncovered or unenclosed front porches may project 6' into the required front yard setback area.
	5. <b>SETBACKS:</b> Building setbacks shall be measured perpendicularly from the property line. Circulation including, but not limited to, driveways and walkways shall be permitted in setbacks.
	6. <b>SITES IN ALL ZONES EXCEPT THE R-1 VILLA RESIDENTIAL ZONE:</b> Architectural treatment shall prevent any negative impacts resulting from building massing from affecting the neighboring single-family homes. Mitigations include, but are not limited to, roof pitch and orientation, window placement, and balcony location, and location of second story and theme elements.
	7. <b>STORAGE:</b> Storage areas shall not encroach into required parking, loading areas, drive aisles, trash areas, required landscape or required setbacks. Storage shall be fully screened from public view as provided for in Section 153.159 of the San Gabriel Municipal Code.
	8. <b>STORMWATER MANAGEMENT:</b> The federal government has introduced the National Pollution Discharge Elimination System (NPDES) program to reduce pollutants in storm water. Legislation was enacted as a result of severe and continuing pollution of the nation's ocean shorelines, rivers, and lakes into which storm water drains. "Best Management Practices" (BMPs) to reduce pollution have been developed by the State of California. They are implemented through a county permit process and carried out by local government. During construction, for example, developers must ensure that streets serving a site be kept clean and runoff kept on the site and out of the storm drains. Erosion and sediment must be controlled. Chemical spills must be cleaned up on site rather than washed away. City inspectors enforce the NPDES requirements. The following types of projects are subject to NPDES requirements: <ul style="list-style-type: none"> <li>▪ Commercial development w/100,000+ sq. ft. of impermeable area</li> <li>▪ Free-standing restaurants</li> <li>▪ Parking lots w/5,000+ sq. ft. or 25+ parking spaces</li> <li>▪ Creation or addition of 5,000+ sq. ft. of impervious surfaces on any already developed site</li> <li>▪ 10+ units residential units</li> </ul> The City Engineer will be responsible for determining on a case-by-case basis specific BMPs to be required on each of the above types of projects.



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
A. Development Standards	<p>9. TRASH ENCLOSURES: Trash areas shall be shielded from view by being placed within a building or area enclosed by a solid masonry wall 6' in height. This wall shall be screened by climbing vines or other appropriate landscaping techniques. The entrance to the trash enclosure shall have a durable, opaque, metal gate matching the architectural treatment of the building. Trash enclosures shall not be directly visible from a street unless the unique configuration of a lot makes this requirement infeasible, as determined by the Community Development Director or his designee. Trash enclosures shall be located so that trash trucks may have ready access and not be blocked by parked cars or other obstacles. Minimum inside dimensions for a trash enclosure shall be 8' by 10', however larger enclosures may be required as determined necessary for the needs of the use of the building by the City's waste hauler. Trash enclosure areas and details showing building materials, treatment, gate design, overhead trellis if applicable, and landscaping shall be shown on precise plans and be approved by the City.</p>
	<p>10. UTILITIES: All utilities shall be installed underground. Electrical vaults, meters and utility boxes, and gas meters shall be screened by landscaping and located to minimize their visual impact.</p>
B. Dwelling Units	<p>1. LIVE/WORK SPACE: The following standards shall apply to live/work spaces:</p> <ul style="list-style-type: none"> <li>▪ The minimum unit size shall be seven hundred fifty (750) square feet.</li> <li>▪ Each unit shall have a separate entrance that is clearly identified to provide for emergency services.</li> <li>▪ No less than thirty three percent (33%), and no more than fifty percent (50%) of any unit shall be used for exclusive residential purpose such as sleeping area, kitchen, bathroom and closet areas. The unit shall provide as a minimum full cooking and bathing facilities.</li> <li>▪ All necessary building permits shall be obtained prior to the use of the space for residential occupancy.</li> <li>▪ No mechanical equipment shall be used which generates noise higher than the noise standards established for residential uses by the General Plan.</li> <li>▪ There shall be no outside operations, outside storage or outdoor display of materials or products.</li> <li>▪ No toxic, explosive, flammable, combustible or corrosive materials are to be stored or used on the site in quantities or in a manner that violates any provision of the Uniform Fire Code. No etiologic or radioactive materials shall be used or stored on the site at any time.</li> <li>▪ No process shall be used which is hazardous to public health, safety or welfare.</li> <li>▪ The home occupation shall not displace or block the use of parking spaces required for the residential use including any business storage in required parking areas.</li> <li>▪ Not more than two (2) vehicles shall be used in the business. Only one vehicle may be commercially licensed.</li> <li>▪ The Community Development Director or his designee may require the discontinuance of a work activity in a live/work space if as operated or maintained there has been a violation of any applicable condition or standard. The Community Development Director or his designee shall have the authority to prescribe additional conditions and standards of operation for any category of work activity in a live/work space.</li> </ul>
	<p>2. RESIDENTIAL ZONES: Each of the residential zoning designations is intended to be unique and mutually exclusive of one another. Although some uses may be permitted in more than one residential zone, it is not the intent of this specific plan that all uses permitted in the R-1 Villa Residential zone be permitted in the R-2 Grapevine Residential and R-3 Villa Residential zones as well.</p>
	<p>3. SENIOR HOUSING: If a senior housing complex is proposed, it shall be designed by an experienced senior housing consultant, familiar with senior needs. A senior housing project shall include amenities consistent with senior needs. This may include, but not be limited to, a spa and pool, a recreation center, picnic tables, or a library.</p>
C. Driveways	<p>1. NEW DRIVEWAYS ON MISSION ROAD, MISSION DRIVE, AND LAS TUNAS DRIVE: It is the intent of this specific plan to reduce the number of curb cuts for driveways on Mission Road, Mission Drive, and Las Tunas Drive and thereby improve traffic flow and vehicular and pedestrian safety. For new developments located on parcels with frontage on any of these streets, no new curb cuts for driveways shall be allowed, unless determined necessary by the City Engineer. Wherever possible, existing curb cuts for driveways on these streets should be eliminated or consolidated with adjacent driveways when new development is proposed.</p>
	<p>2. VEHICULAR OPENINGS: Vehicular access to any lot or parcel shall not be less than 100 feet apart measured from standard drive approach center to center. This standard shall not prevent a legally subdivided parcel from gaining legal access to the street, but shall encourage shared driveways and driveway consolidation. Driveways shall be minimized and placed 100 feet apart, where feasible. Driveways locations shall be a minimum of 100' from corners. Exceptions to these standards shall only be made on a case-by-case basis subject to the review and approval of the City Engineer.</p>



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
D. Landscaping	<p>1. LANDSCAPING IN NON-RESIDENTIAL ZONES: On-site landscaping in nonresidential zones shall conform to the following minimum standards:</p> <ul style="list-style-type: none"> <li>▪ Parking lot planter strips shall have a 7' minimum clear width, including two 2' overhangs from adjacent parking stalls.</li> <li>▪ Landscape buffer strips along property lines shall have a minimum 7' interior width and shall serve to screen adjoining uses. Buffer strips shall include ground cover, shrubs and trees to create a dense screen which providing depth, texture and color variation.</li> <li>▪ A minimum of one tree shall be planted within the parking lot for every four parking stalls.</li> <li>▪ Landscaped berms and low walls shall provide a 36" high screen along street setbacks, minimizing the visual impact of parking lots.</li> <li>▪ Enriched accent paving, including, but not limited to, stamped concrete, cobblestones, and road pavers shall be used in parking lots, drive aisles, and pedestrian crossing areas.</li> <li>▪ When adjacent to the Alhambra Wash, landscaping treatments shall line the wash and shall enhance the wash's intersection with the property.</li> </ul>
	<p>2. RESIDENTIAL ALLEY STANDARDS: Residential alleys should be improved according to the following standards:</p> <ul style="list-style-type: none"> <li>▪ Public alleys shall not be used for the permanent storage of private property or trash receptacles.</li> <li>▪ All trash receptacles shall be screened from direct public view through the use of screening systems such as fences, walls, hedges, enclosures and garage storage.</li> <li>▪ Rear yard landscaping visible from and/or contiguous to public alleys shall be properly trimmed and maintained.</li> <li>▪ When rear yards are used for open storage, a solid 6' fence or wall shall be provided at the rear property line.</li> <li>▪ Rear yards open to the alley shall be free of weeds and debris.</li> </ul>
	<p>3. SITES ABUTTING OR ADJACENT TO RESIDENTIAL ZONES OR RESIDENTIAL ALLEYS: Landscaping and an opaque screen 6' high of a material and design appropriate to the neighborhood shall be installed along all site boundaries that abut a residential zone. The Design Review Commission may approve higher screens on a case-by-case basis based on findings that a 6' screen is inadequate, or where there is unusual topography or constrains due to location of existing buildings.</p>
E. Parking	<p>1. COMMON AREA PARKING: Common area parking, whereby tenants of a commercial building or center share use of a parking area even though lot lines may bisect the parking area may be approved as part of a Precise Plan of Design.</p>
	<p>2. COVERED PARKING FOR RESIDENTIAL AND MIXED USE DEVELOPMENTS: Covered parking for residential and mixed use development may consist of a garage, carport, or porte-cochere. All covered parking structures, whether attached or detached from the main residential building, shall be designed to be architecturally compatible with the main residential building and shall comply with all applicable provisions of this specific plan, the Uniform Building Code, and the Uniform Fire Code.</p>
	<p>3. DRIVE LANE AND PARKING LOT GRADES: Drive lane and parking lot grades should not exceed 5%. Exceptions may be made for driveways serving below-grade parking areas, subject to review and approval by the City Engineer.</p>
	<p>4. JOINT USE OR SHARED PARKING: Joint use or shared parking facilities, either on, or offsite may be approved in conjunction with, and as part of a project approval when the hours of operation of the uses do not conflict.</p>
	<p>5. LOADING AREAS: All loading shall be performed on site. Truck loading areas shall be located so that they are not seen from the public right-of-way. Where this is not possible due to unique circumstances of a site, truck loading shall be screened with an architecturally compatible screen wall and landscaping. Sites shall be designed to avoid locating truck-loading areas near residential zones.</p>
	<p>6. PARKING LOT LIGHT STANDARDS: Parking lot light standards shall not exceed 20' in height. In parking lots adjacent to residential zones, light standards shall not exceed 12' in height and shall be directed and shielded to prevent light and glare spillover into the adjacent residential zone.</p>



## Mission District Specific Plan ~ Land Use

CATEGORY	STANDARD
E. Parking	7. <b>PARKING LOTS FACING ONTO MISSION DRIVE:</b> It is the intent of this specific plan to encourage new development along Mission Drive to be constructed close to the sidewalk, in keeping with the traditional pattern of development. As such, parking lots serving new development along Mission Drive shall be located behind the buildings.
	8. <b>PARKING STALL DIMENSIONS IN NON-RESIDENTIAL ZONES:</b> In all non-residential zones, a standard parking stall shall be 9' wide by 18' deep and a compact parking stall shall be 8' wide by 15' deep. All parking stalls located next to a wall, fence, column or post shall be increased by an additional 2' in width. All parking stalls shall be provided with an unobstructed back-up space of at least 25'.
	9. <b>TANDEM PARKING:</b> Tandem parking shall be prohibited, except for mixed-use and live/work developments, multifamily residential developments in the R-3 Arroyo Residential and R-2 Grapevine Residential zones on sites at least 32,670 sq. ft. in size and with a minimum lot width of 150', and valet parking consistent with a valet parking plan approved by the Police Department and the Community Development Director or his designee.
F. Performance Standards	1. <b>NOISE:</b> All commercial and manufacturing activities shall be conducted within a wholly enclosed building. All properties within the <i>Mission District Specific Plan</i> shall be subject to the provisions of Section 130.09 of the San Gabriel Municipal Code, relating to "Noise Caused by Machinery"; Section 100.058, regarding noise, dust or vibration, whether for construction or other purposes; and successor provisions of City ordinances pertaining to noise.
	2. <b>LIGHT AND GLARE:</b> No lighting shall be installed so as to create an overspill onto adjoining residential properties. Exterior lighting fixtures, except as required for historical and design purposes, shall employ cut-off design and adjustable hoods permitting light to be directed onto property and away from property lines as required.
	3. <b>TRASH AND DEBRIS:</b> All properties shall be kept in a neat, clean and orderly condition, free of weeds and debris. No merchandise, equipment, used furniture or other items may be stored in a setback or yard area except to the extent expressly permitted by the <i>San Gabriel Municipal Code</i> and provisions of this plan.
	4. <b>NUISANCES:</b> The provisions of Chapter 98 of the San Gabriel Municipal Code, Sections 98.01 through 98.99 inclusive, shall apply to all properties within the Mission District Specific Plan.



**DEFINITIONS**

*Terms used in these regulations shall have the same definitions as given in the San Gabriel Municipal Code unless otherwise defined herein.*

**Bedroom:** A bedroom shall be considered any room which is not a kitchen, dining room, living room, family room, or bathroom and which is designated as a bedroom or is capable of being used for sleeping quarters, which may contain closets and may have access to a bathroom, and which has at least 125 square feet of floor area (exclusive of closets) and which meets Uniform Building Code requirements for light and ventilation. A determination of the identity of any room shall rest with the Community Development Director or his designee.

**Biotech:** Industrial processes which apply the principles of engineering and technology to the life sciences.

**Building Height:** The vertical distance measured from the average level of the finished grade at the lowest point of the building to the highest point of the structure. The highest point is described as the average parapet level, highest point of screening for mechanical equipment or highest roof peak and does not include architectural projections such as chimneys, theme towers, parapet accents or bell towers.

**Conditionally Permitted Uses:** Uses permitted subject to the issuance of a conditional use permit (must be approved by Planning Commission, subject to conditions of approval) and in accordance with the procedures of this specific plan and the San Gabriel Municipal Code.

**Covered Parking:** One or more parking spaces covered by a permanent structure such as a garage, carport or porte-cochere.

**Floor Area Ratio:** The numerical value obtained by dividing the aboveground gross floor area of a building or buildings located on a lot or parcel of land by the total area of such lot or parcel of land. For residential uses, non-habitable structures such as garages are not included in the floor area ratio calculation. Covered patios and balconies are included in the floor area ratio calculation.

**High-Tech:** Industrial processes which involve highly advanced or specialized technology, systems, devices, machines, and methods.



**Live-Work Space:** Space within buildings that are jointly used for commercial and residential purposes, where the residential use of the space is secondary or accessory to the primary use as a place of work.

**Lot:** A parcel of real property as shown with a separate and distinct number or letter on a plot recorded or filed with the County Recorder, or a parcel of real property abutting upon at least one public street or a recorded private or public street or road easement and held under separate ownership.

**Lot Coverage:** The numerical value obtained by dividing the ground-level gross floor area of a building or buildings located on a lot or parcel of land by the total area of such lot or parcel of land, uncovered decks, patios, etc.

**Mixed-Use Development:** A project, which has residential units, including but not limited to condominium or apartment housing, including senior housing, and one or more non-residential uses such as commercial, retail, business or professional office or related common areas (such as a community room, conference room, or health and fitness room) within a single building or in two or more buildings, which are located on one property. The property may consist of one or more contiguous parcels under single ownership. Mixed-use development shall have the non-residential component on the ground floor

frontage. The housing component of such facilities shall be located above the non-residential component. Such facilities shall be designed and constructed to be appropriate for their use, not retrofitting existing commercial or office facilities or facades.

**Net Lot Area:** The gross area of a lot, minus any dedications or publicly held easements.

**Net Lot Depth:** The mean (average) horizontal distance between the front and rear lot lines of a net lot.

**Office:** Businesses engaged in providing services for individuals and businesses; including attorneys, engineers, realtors and brokers; banks and savings institutes, health professionals, consulting and employment services.

**Ornamental Masonry Wall:** A wall constructed of block, brick, stone or other masonry material designed in such a manner to be compatible with adjacent architecture and aesthetically attractive.

**Parking Facilities:** Areas devoted to the parking of vehicles, including surface parking lots, subterranean or semi-subterranean garages, and above-ground parking structures.



**Permitted Uses:** Uses permitted by right (no special approval required) and in accordance with the procedures of this specific plan and the San Gabriel Municipal Code.

**Public/Semi-Public Facilities:** A facility that provides a public service and is owned or operated by a federal, state, or local government, public or private utility, public or private school or college, church, public agency, or tax-exempt organization.

**Research & Development:** Activities involving the research and development of new technology, systems, devices, machines, methods and materials.

**Screening:** A method of visually shielding or obscuring one abutting or nearby use or structure from another by use of fencing, berms, walls, parapets, roofing or densely planted landscaping.

**Setback:** The required distance from any lot line or building establishing the area in which the principal structure must be placed. Exclusions, such as fences, signs, or landscaping are permitted and regulated under separate development standards.

